

The City of



**PLANNING  
&  
ZONING  
COMMISSION**

**MEETING PACKET**

**February 10, 2026**

**7:00 p.m.**



# Agenda

## Planning and Zoning Commission

Tuesday, February 10, 2026  
City Hall - Council Chambers – 7:00 P.M.

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### I. CALL TO ORDER

### II. ROLL CALL

Crawford \_\_\_\_\_ Dilts \_\_\_\_\_ Holt \_\_\_\_\_ Howard \_\_\_\_\_ Noland \_\_\_\_\_  
Reinier \_\_\_\_\_ Rosekrans \_\_\_\_\_ Summers \_\_\_\_\_ Waterman \_\_\_\_\_

### III. APPROVAL OF MINUTES

A. Tuesday, January 13, 2026 Regular Meeting

### IV. PUBLIC HEARING CASES

A. **PZ Case 26-03PP:** Preliminary Plat for Whitehorse subdivision. 281 residential lots on 132 acres north of Ruth Ewing Rd. and east of Birmingham Rd. with multiple variance requests.

B. **PZ Case 26-08A:** Adoption of Glenn Hendren Corridor plan.

### V. CASES

A. **PZ Case 26-05FDP:** Final Development Plan for 49 2-story townhomes configured in 4-unit and 5-unit structures on 7 ac at SW corner of Church & Camille.

***City Council will consider these applications at the regular session scheduled for Monday, February 23, 2026 at 7:00 p.m. in the Council Chambers, City Hall.***

### VI. PUBLIC COMMENTS

### VII. OTHER BUSINESS

- A. Administrative Approvals
- B. Miscellaneous Matters

### VIII. FUTURE MEETING SCHEDULE

- A. Regular Session – Tuesday, March 10, 2026 at 7:00 p.m.
- B. Regular Session – Tuesday, April 14, 2026 at 7:00 p.m.

### IX. ADJOURNMENT

**LIBERTY PLANNING AND ZONING COMMISSION**

January 13, 2026

Meeting Summary

7:00 p.m.

**I. Call to Order**

The Liberty Planning and Zoning Commission met on Tuesday, January 13, 2026. A quorum being present, Chairman Rosekrans called the meeting to order at 7:00 p.m.

**II. Roll Call**

Commission members in attendance were: Josh Crawford; Judy Dilts; Walter Holt; Amy Howard; Douglass F. Noland; Tom Reinier; Dee Rosekrans; Donald Summers; and Ann Waterman.

Representing staff were: Katherine Sharp, Director of Planning & Development; Kyle McGinnis, Senior Planner; and Joshua Martinez, Capital Projects Engineer. 29 members of the public were in attendance.

**III. Approval of Minutes**

Chairman Rosekrans asked if there were any questions or comments related to the minutes from the December 9, 2025 meeting. Seeing none, Chairman Rosekrans asked for a motion.

Commissioner Summers moved to approve the regular session minutes from the December 9, 2025 meeting and Commissioner Dilts seconded the motion. The minutes were approved 9-0-0.

**IV. Public Hearing Cases**

**A. PZ Case 26-02A:** Future Land Use Amendment to change the land use designation of the 19-acre property located on the east side of S. Withers Rd. at Homestead Dr. from Single-Family Residential to Mixed Residential.

Ms. Sharp presented the proposal to the commission as described in the staff report.

Chairman Rosekrans asked if the commission had any questions for staff. Seeing none, he asked for the applicant or their representative to step forward.

Ashley Siebert of Omni 360 Development, 512 NE Legacy View Drive, Lee’s Summit, MO 64086, introduced herself as the applicant for this request. Ms. Siebert gave a presentation to the Commission in order to provide details on the scope of the proposed development. The development would be called Founders Ridge, a maintenance-provided townhome development including 1-, 2-, and 3-bedroom units. Of this 19-acre parcel, only nine to the south of the library, near S. Withers Road, would be developed, with interest in donating the portion of land to the east (rear) of the library to the library or City to be dedicated as park or open space. Ms. Siebert’s presentation included visuals of the exteriors – a modern farmhouse design incorporating stucco, natural stone, and engineered wood – as well as conceptual interiors. The structures would include a mix of both building types and floor plans.

Chairman Rosekrans asked if the Commission had any questions for the applicant.

Commissioner Noland asked what the ratio would be of townhomes to villas or duplexes. Ms. Siebert explained that the row of townhomes nearest S. Withers Road would be 4- to 6-unit structures, with the density of units lessening to duplexes as you move further into the development. Commissioner Noland asked whether these units would be individually owned. Ms. Siebert confirmed that these would be maintenance-provided rental units under singular ownership.

Chairman Rosekrans stated that this project is in its earliest preliminary stages and that future public hearings for a potential rezoning and development plans would occur if this project were to move forward, and it is at that stage that these details are typically discussed. This public hearing is to determine the appropriateness of mixed residential land uses on this parcel in a more general sense.

Chairman Rosekrans asked if the Commission had any further questions for the applicant. Seeing none, he opened the public hearing and asked if there were any persons in the audience that would like to speak for or against the proposal.

Brett Lovell, 1717 Homestead Drive, approached the podium. Mr. Lovell stated that he is in opposition to this change. Mr. Lovell explained that he has experience in land development through his work. Mr. Lovell asked whether the Commission is reviewing the proposal tonight in order to provide approval or to provide a recommendation. Mr. Lovell additionally asked that, if approved, there is any way the proposal can be changed without additional oversight from the Commission or City Council. Mr. Lovell stated that while he would be strictly opposed to a high-density multifamily proposal, he may be open to the concept presented by Ms. Siebert tonight.

David Bergin, 1833 Green Meadow Drive, approached the podium. Mr. Bergin stated that the City's Comprehensive Plan was approved in 2023 and designated this property as appropriate for single-family residential uses at that time, and did not see why that designation should be changed. Mr. Bergin referenced the Montage (Aviara) project, north of I-35, which is anticipated to bring a large number of similar mixed residential units to the community in the coming years. Mr. Bergin stated that he would not like to see a traffic signal installed along S. Withers Road at this location due to the way it may impact the flow of traffic. Mr. Bergin also shared concerns that a change in zoning on this property could lead to the development of other land uses that are even less appropriate. Mr. Bergin concluded by stating he is opposed to this proposal.

Robert Weagley, 1764 Homestead Drive, approached the podium. Mr. Weagley stated that he supports the rights of landowners to use their property as they would like to, but that he does have concerns about developers whose priority is to maximize profit. Mr. Weagley stated that he views this proposal as a multifamily project with a horizontal configuration and spread. Mr. Weagley stated that the taxes generated by detached single-family housing differ from those generated by multifamily projects. Mr. Weagley added that he believes the tenants of rental units are not as involved in their communities. Mr. Weagley asked if the Commission had visited other sites developed by the applicant or spoken with residents of their developments. Mr. Weagley concluded by stating that he is opposed to this proposal.

Mary Kate Jordan, 1755 Windmill Court, approached the podium. Ms. Jordan stated that she is a mother with a young family and knows other young families that are searching for affordable housing, but are interested in detached single-family homes that they can own, not rent. These families seek equity and to be a vested part of the community. Ms. Jordan stated that she is concerned about the lack of information available online for the investors of this project and the developer in general, as this developer does not have a strong presence on LinkedIn

Kate Hart, 760 Herrman Court, approached the podium. Ms. Hart stated that she was initially opposed to this proposal when first learning of it but has questions that may change her opinion on the matter. Ms. Hart asked whether an Environmental Impact Study has been completed or will be required for this project. Ms. Hart asked whether there are any guardrails which prevent changes to the proposal or the sale of the property should the request be approved. Ms. Hart asked whether a Traffic Impact Study has been completed or will be required for this project. Ms. Hart asked whether the land that may be donated as parkland could be changed into parking for the development instead. Ms. Hart concluded by asking whether the applicant for this request has standing to request such a change given they are the land owner, developer, and future manager of the proposed development.

Christopher Hand, 1053 Holt Drive, approached the podium. Mr. Hand stated that the rear of his property is near the site. Mr. Hand asked how this proposal preserves the neighborhood character that is present now. Mr. Hand shared concerns regarding the current traffic on S. Withers, and the increase in traffic this proposal may generate. Mr. Hand also shared concerns regarding how these additional units may impact the nearby schools and whether they are prepared to accommodate additional students.

James Gifford, 1615 Ashton Court, approached the podium. Mr. Gifford expressed similar concerns regarding increased traffic on S. Withers Road, as well as the site's lack of access to other roadways.

Edward Cullumber, 1917 Shannon Court, approached the podium. Mr. Cullumber shared concerns regarding an increase of traffic on S. Withers Road and the impact the development may have on the school system. Mr. Cullumber also shared concerns as to what impact this development may have on the value of adjacent homes.

Gary Duffin, 1804 Green Meadow Drive, approached the podium. Mr. Duffin asked whether this development would include a pool for its residents. Mr. Duffin expressed concerns that residents of this development would cross S. Withers Road to use his HOA's pool in the Homestead of Liberty subdivision. Mr. Duffin also stated he is worried about the pool's privacy should new construction occur across S. Withers Road. Mr. Duffin asked if there would be sufficient parking to serve this development, or if residents would park along his subdivision's streets due to overflow. Mr. Duffin complimented the Blackberry subdivision as an example of a compact, detached single-family neighborhood.

Gene Moore, 1045 Holt Drive, approached the podium. Mr. Moore stated that the subject property receives many visits from local wildlife, and stated that he would like to see the present tree line maintained. Mr. Moore would support the idea to donate the north portion of land to the City.

Chairman Rosekrans asked if there were any other persons in the audience that would like to speak for or against the proposal. Seeing no persons wishing to speak, Chairman Rosekrans closed the public hearing. Chairman Rosekrans called Ms. Sharp forward to address those questions she could and explain the next steps for this project.

Ms. Sharp explained that the Commission's recommendation would be brought forward to the City Council for their consideration at their next regularly scheduled meeting on Monday, January 26, 2026 at 7:00 p.m. in the Council Chambers of City Hall. Ms. Sharp stated that approval of this request by the City Council would not result in the approval of the townhome development overall, as a rezoning of the property and review of a development plan must still occur. A future rezoning application would require the notification of all neighbors within 185 feet of the property, as was done with this application. Ms. Sharp stated that Stormwater and Traffic Impact Studies would be required as part of the review of a development plan with the rezoning, and that the City's

regulations prohibit development within the riparian/stream corridor along the property's east (rear) boundary. A future rezoning to the PD, "Planned Development District" would limit the developer strictly to a site plan and elevations approved by the City Council, and any future changes made to those plans would require them to go through the same or similar processes for review and approval prior to construction, preventing a "bait and switch" situation. Ms. Sharp stated that staff has not visited other developments constructed by the applicant, but that applicants do sometimes invite staff to visit their properties, though typically at a later stage in the review process. The City's standards require a minimum number of parking stalls be provided for the development based on the number of units proposed, and parking on S. Withers Road would be expressly prohibited. Ms. Sharp concluded by stating that the applicant, as the property owner, does have the right and standing to request a change in the property's Future Land Use designation, as well as a request to alter its zoning at a later date.

Mr. Martinez added that the City would require a Traffic Impact Study with the submission of a rezoning application. This study considers the land use and number of units proposed to determine the need for infrastructure improvements to accommodate any increase in traffic. The development would require both macro- and micro-stormwater studies to assess both water quantity and quality impacts. The developer would be required to receive a City Land Disturbance Permit, and, based on the size of the property and as a requirement of the City's Land Disturbance Permit, be required to receive a Land Disturbance Permit through the Missouri Department of Natural Resources.

Chairman Rosekrans asked if the Commission had any additional questions.

Commissioner Holt asked what benefit the donation of a portion of the land might have for the City given City ownership would require City maintenance of the land. Ms. Sharp stated that there is a process through Park Board and City Council for the donation of parkland to the City from private ownership. She said it may be better suited being donated as open space for the library. The Withers Mid-Continent Public Library was built with large windows which face eastward, toward the land in question; however, the library did not acquire that land during its development process and so that current viewshed is not guaranteed to remain. The donation of the land would ensure that that viewshed is better protected. Were the land donated and dedicated as parkland, any changes to it (e.g. a walking trail) would require review by the Park Board.

Commissioner Dilts asked if the land use change would apply to the land being considered for donation. Ms. Sharp stated that the requested Future Land Use change would apply to the full 19-acre parcel, but would not alter the Floodplain/Stormwater Management designation along the property's east boundary.

Commissioner Dilts asked whether the requested land use change would still allow for detached single-family dwellings. Ms. Sharp stated that the Mixed Residential does allow for detached single-family homes as well as small attached housing. The property's current zoning of R-1A, "Suburban Residential District," would remain, until the property is rezoned, which allows for detached single-family dwellings on lots three acres or larger. Anything other than that will require a rezoning.

Commissioner Dilts asked if the City's new Comprehensive Plan changed this property's prior land use designation to Single-Family Residential from something else. Ms. Sharp stated that the new Comprehensive Plan approved in 2023 did not alter the property's prior Future Land Use designation, but in fact maintained it through the process of developing the new Future Land Use Map.

Chairman Rosekrans asked if the Commission had any additional questions. Seeing none, he asked for final comments from Commissioner's regarding their votes.

Commissioner Howard stated that she is opposed to the requested Future Land Use Amendment as she believes the best use of the property would be detached single-family dwellings. She expressed concerns with what development may occur if the property's Future Land Use designation is changed.

Commissioner Crawford stated that he is opposed to the requested Future Land Use Amendment due to his concerns with additional traffic and general activity in the area.

Commissioner Holt stated that he supports the requested Future Land Use Amendment as he believes it is worthy of consideration. Commissioner Holt stated that he would rather the final product be available for ownership and not rented, and recommended that the applicant provide additional details on their other projects in the greater Kansas City metro area.

Commissioner Noland stated that he is opposed to the requested Future Land Use Amendment as he believes the concerns of the neighbors who spoke tonight are valid. Mr. Noland stated that he believes the best use of the property would be detached single-family homes.

Commissioner Dilts stated that she is opposed to the requested Future Land Use Amendment due to concerns that the product would not in fact be affordable.

Commissioner Reinier stated that he is opposed to the requested Future Land Use Amendment based on the concerns shared by the neighbors tonight.

Commissioner Summers stated that he agrees with Commissioner Holt in that the request is worthy of consideration, and that he supports the requested Future Land Use Amendment.

Commissioner Waterman stated that she supports the requested Future Land Use Amendment at this point and is curious to see what potential concepts may come about as a result of the feedback provided tonight.

Chairman Rosekrans stated that he supports the requested Future Land Use Amendment but emphasized that the details of a future development proposal would be important in his consideration of future applications.

Chairman Rosekrans asked for a motion on this item.

**Action: Commissioner Holt moved to approve the case as presented in the staff report, Commissioner Waterman seconded the motion.**

Vote: Motion failed 4-5-0

Yes: Holt; Rosekrans; Summers; Waterman

No: Crawford; Dilts; Howard; Noland; Reinier

Abstain: None

Chairman Rosekrans said the case would be heard in front of the City Council on Monday, January 26, 2026 at 7:00 p.m.

## V. Cases

**A. PZ Case 26-04FP:** Final Plat for 1 lot on 29 ac at 2515 Old Hughes Rd. for Metrobloks.

Mr. McGinnis presented the proposal to the commission as described in the staff report.

Chairman Rosekrans asked if the Commission had any questions of staff. Seeing none, he asked for the applicant or their representative to step forward.

Dan Finn of Phelps Engineering, 1270 N. Winchester, Olathe, KS 66061, introduced himself as the applicant for this application and stated that he was available for the Commission's questions.

Chairman Rosekrans asked if the Commission had any questions for the applicant or staff. Seeing none, he asked for a motion.

**Action: Commissioner Summers moved to approve the case as presented in the staff report, Commissioner Reinier seconded the motion.**

Vote: Motion approved 9-0-0

Yes: All

No: None

Abstain: None

Chairman Rosekrans said the case would be heard in front of the City Council on Monday, January 26, 2026 at 7:00 p.m.

#### **VI. Election of Officers**

Ms. Sharp requested a nomination for the position of Chairman of the Commission. Commissioner Summers nominated Dee Rosekrans for the position of Chairman, seconded by Commissioner Dilts.

Vote: Nomination confirmed 8-0-1

Yes: Crawford; Dilts; Holt; Howard; Noland; Reinier; Summers; Waterman

No: None

Abstain: Rosekrans

Ms. Sharp requested a nomination for the position of Vice Chair of the Commission. Commissioner Waterman nominated Tom Reinier for the position of Vice Chair, seconded by Commissioner Dilts.

Vote: Nomination confirmed 8-0-1

Yes: Crawford; Dilts; Holt; Howard; Noland; Rosekrans; Summers; Waterman

No: None

Abstain: Reinier

#### **VII. Public Comments**

There were no members of the public present who wished to speak.

#### **VIII. Other Business**

Ms. Sharp provided an update on the anticipated multifamily moratorium requested by the City Council, which has been postponed but will likely be approved in February. The moratorium would place a three-month hold on all multifamily applications in order for City staff to evaluate the City's design standards for multifamily projects, including exterior materials, garage prominence, and large front yard driveways. The City Council will hold a study session on February 2, 2026 to review this moratorium. Code amendments to alter the City's multifamily design standards would then likely be brought forward through the public hearing process in March or April of this year.

Ms. Sharp informed the Commission that the developer for the Water Street Lofts project had recently submitted their building permit application, and that the City Hall Police Expansion is likely to begin work around March of this year.

**IX. Future Meeting Schedule**

- a. Regular Session – Tuesday, February 10, 2026 at 7:00 p.m.
- b. Regular Session – Tuesday, March 10, 2026 at 7:00 p.m.

**X. Adjournment**

Commissioner Holt moved to adjourn, Commissioner Crawford seconded. Chairman Rosekrans adjourned the meeting at 8:30 p.m.



## STAFF REPORT

**Planning and Zoning Case 26-03PP**

**Staff: Michael Peterman, Assistant Director Planning & Development**

**Date: February 10, 2026**

### GENERAL INFORMATION

**Application:** Preliminary Plat for Whitehorse, a single-family residential subdivision with 281 lots, generally located along Birmingham Road, south of Lauren Street, north of Ruth Ewing Road for a 132+/- acre single-family residential development with three variance requests.

**Applicant:** Art Akin  
AGC Engineers. Inc.  
405 S. Leonard St.  
Liberty, MO 64068

**Property Owners:** Tim Harris  
Star Development Corp.  
244 W. Mill St., Ste. 101  
Liberty, MO 64068

**Location:** Along Birmingham Road, south of Lauren Street, north of Ruth Ewing Road

**Site Acreage:** 132 +/- Acres

**Existing Land Use/Zoning:** Undeveloped / R-1C, "Standard Single Family"

**Future Land Use Map:** Single Family Residential

**Surrounding Land Uses/Zoning:** **North:** Residential/ R-1C, "Standard Single Family"  
**South:** Residential / R-1A "Suburban Residential" & R-1C  
**East:** Residential / R-1C, "Standard Single Family" & R-1A  
**West:** Residential / R-1A "Suburban Residential" & R-1C

**Public Notice:** Courier Tribune-January 21  
Letter sent to property owner within 185 ft. on December 26 and January 16  
Sign Posted on site on December 29

**File Date:** December 5, 2025

### PREVIOUS CASES/SITE HISTORY

A Development Agreement for Whitehorse subdivision is running concurrently with this application and will be considered by the City Council on February 23, 2026.

**P&Z Case 22-42R&PP:** Rezoning and Preliminary Plat for the Whitehorse single family subdivision was approved by the City Council in October 2022. The Preliminary Plat approval expired after two years of inactivity on the project.

## **APPLICANT'S PROPOSAL**

### **Summary**

This is a request for a preliminary plat for a 132-acre single-family residential development with 281 lots.

This application also includes three variance requests, regarding streets, sewer, and sidewalks as described in their applicable sections below. The applicants written description of the Variance requests are attached as Exhibit C.

### **Use**

The applicant proposes that the site be low-density residential with 281 single family lots.

### **Site Design**

The proposed site is on the east side of Birmingham Road and north of Ruth Ewing. There are four phases shown on the preliminary plat:

- **Phase 1** is anticipated as 43.3 acres and 57 lots. It will include 7 Tracts (C-H) as stormwater and open space tracts, as well as Tract M which is for the future alignment of Birmingham Road, to be discussed further in the streets section of the report. All of the internal roads will include sidewalks and will be built to city standards. The applicant is requesting a variance from the city standards for a portion of Birmingham adjacent to Phase 1, which will be discussed at length later in the report. **Phase 2** includes 93 lots on approximately 33+/- acres, and also contains Tract I for stormwater BMPs. **Phase 3** contains 42+/- acres, 103 lots, and stormwater tracts J, K and L. North of the railroad tracks, on the east side of Birmingham is **Phase 4**. This section consists of approximately 14 acres and 28 lots.
- All lots are proposed to be at a minimum 70-foot-wide and 110 feet deep, which the minimum for the R-1C zoning district. All tracts within the development will be owned and maintained by the HOA.

### **Access/Circulation**

There will be 3 proposed entrances to the site from Birmingham: on the north side of the railroad at Lauren Street; south of the railroad crossing on the east side of Birmingham at Bridgeway Lane; and Creekwood Drive. There are 4 cul-de-sac roads and the rest of the streets are looped through the site.

Sidewalks are proposed to be constructed along Birmingham Road north and south of the future rail crossing bridge construction area except for the specific areas requested in the variances, and on both sides of the street throughout the internal roads in the development. The new bridge will have pedestrian infrastructure.

### **Variance:**

The developer is requesting a variance from Sec. 30-93.3. - Design specifications, streets and alleys, which states that five-foot wide sidewalks are required on both sides of the street on all road improvements. The applicant requests a variance from building the sidewalk on the west side of Birmingham adjacent to Phase 1, since that property is undeveloped, and the sidewalk would be torn up when the site is developed in the future. The applicant's variance request is attached to this staff report.

### Railroad Crossing

City Staff approached the developer about a future realignment of Birmingham Road including a bridge crossing over the railroad tracks, eliminating the existing at-grade crossing. Because of the realignment and bridge, instead of improving existing Birmingham Road through the extent of the site as it exists today, the developer will make the required improvements only at the locations that will remain in use after the bridge is in place. The developer would be required to fully improve Birmingham Road if for any reason the bridge were not to be built. This stipulation will be part of the Development Agreement approved and accepted by the City Council. The developer has agreed to contribute to the cost of the bridge, the details of this agreement will be conferred in a development agreement to be reviewed by the City Council concurrent with this application.

### Landscaping/ Tree Preservation/Parkland Dedication

All residential lots are required to have the following landscaping:

- Residential lots shall contain within the front yard a minimum of one tree, which may be large- or small-growing; two perennials; and three shrubs per dwelling unit.
- For all residential districts, a minimum of one street tree shall be planted within the planting strip for each lot created;
- In the case of corner lots, a minimum of two street trees, one per street, shall be planted;
- Additionally, any streets that do not contain a residential lot must provide street trees at the interval of one tree per fifty linear feet.

A fee in lieu of tree preservation may be required to be given to the City's tree fund based on the results of a future tree survey of the trees to be removed from the site.

All proposed residential development is required to dedicate park land or an equivalent fee-in-lieu of dedication for public use. As no parkland is proposed with this development, a fee in-lieu will be required before the final plat can be recorded.

## **PUBLIC INFRASTRUCTURE**

The submitted plans for this application have been evaluated in accordance with the adequate public facilities ordinance:

### Streets

The proposed development will have access to Birmingham Road at three locations. Birmingham Road will be improved at the north and south of the site. A new alignment of Birmingham Road to allow for a bridge over the railroad tracks is shown on the preliminary plat and will be dedicated as right of way in the future.

### **Variance:**

The developer is requesting a variance from Sec. 30-35.2. - Street capacity requirements; required improvements, which requires the developer to improve all collector or arterial streets that abut the proposed development along the entire limits of the development site to city improvement standards. The applicant requests a variance from improving Birmingham Road north of Creekwood Drive and south of lot 281, approximately Lauren Street where Birmingham Road will no longer be utilized after the bridge is installed. The applicant's variance request is attached to this staff report.

### **Sanitary Sewer**

Sanitary sewer service will be provided via existing sanitary sewer main on the west side of the railroad tracks that will run through the site to Birmingham Road.

### **Variance:**

The applicant is requesting a variance from Sec. 30-36.1. - Sanitary sewer facilities; required connection, which states that all development shall be required to provide a direct gravity flow sewer connection to the public sewer system. The applicant requests to install a sewer lift station and force main in the area shown as Phase 4, which lies north of the tracks and east of Birmingham Road. The applicant's engineer provided a detailed explanation which is summarized below:

- The existing sanitary sewer in the nearby development is too shallow to tie into.
- Existing storm system on the west side also conflicts with possible sewer locations.
- The other option would be to put the sewer at 28 feet deep, exceeding the standard max depth of 22 feet.
- Working with the Utility Director, it was determined to build gravity line south and under the railroad placing the lift station on the south side of the railroad and east of Birmingham Road, to limit the amount of force main.

### **Water**

Water service will be provided from public mains on Birmingham Road.

### **Stormwater**

Storm water will be collected on the property and directed into a combination of storm water quality best management practices (BMPs) and storm water detention basins. Storm water released from the development will be managed to reduce offsite erosion potential or additional erosion prevention measures will be designed and constructed.

## **STAFF ANALYSIS**

A preliminary plat is required for the general subdivision of land to ensure the layout of a proposed subdivision conforms to the comprehensive plan and the UDO. Staff's analysis of a preliminary plat application is guided by Section 30-28.10. Preliminary plat, approval criteria:

- 1. The preliminary plat substantially complies with the intent of the comprehensive plan;**  
Staff believes this proposal satisfies the intent of the comprehensive plan and the future land use map. Single family lots are an appropriate use in this location.
- 2. The preliminary plat complies with the provisions of this UDO; and**  
Staff finds that the application substantially conforms to the requirements set forth in the Unified Development Ordinance, but for the three variances described above.
- 3. The preliminary plat substantially complies with approved city development standards and policies.**  
Staff finds that this Preliminary Plat complies with the intent of city development standards and policies.

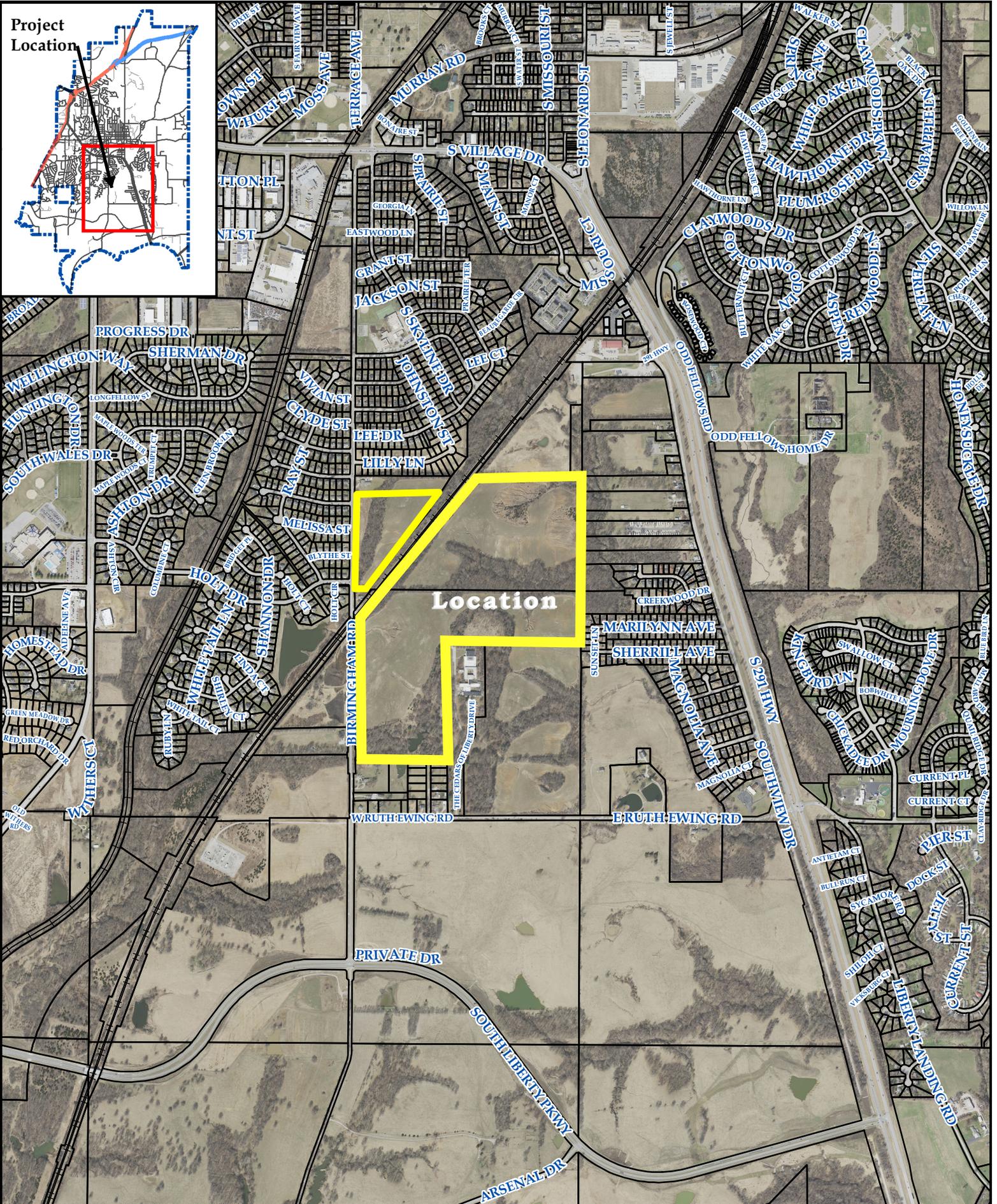
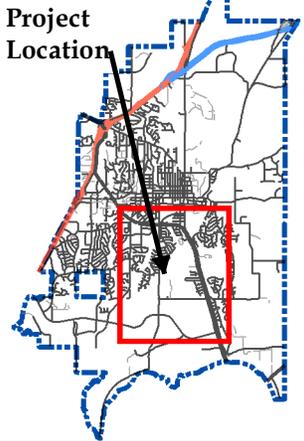
## STAFF RECOMMENDATION

Staff finds that this application meets the standards of review for a preliminary plat if the variances described above are approved. Staff recommends approval of P&Z Case 26-03PP.

## ATTACHMENTS

- Exhibit A: Vicinity Map
- Exhibit B: Preliminary Plat
- Exhibit C: Applicants Variance Requests

**The City Council will consider this request at their regular session on February 23, 2026 held in the Council Chambers, City Hall at 7:00 p.m.**



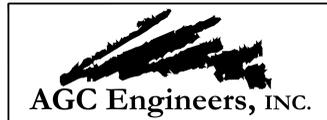
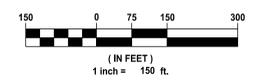
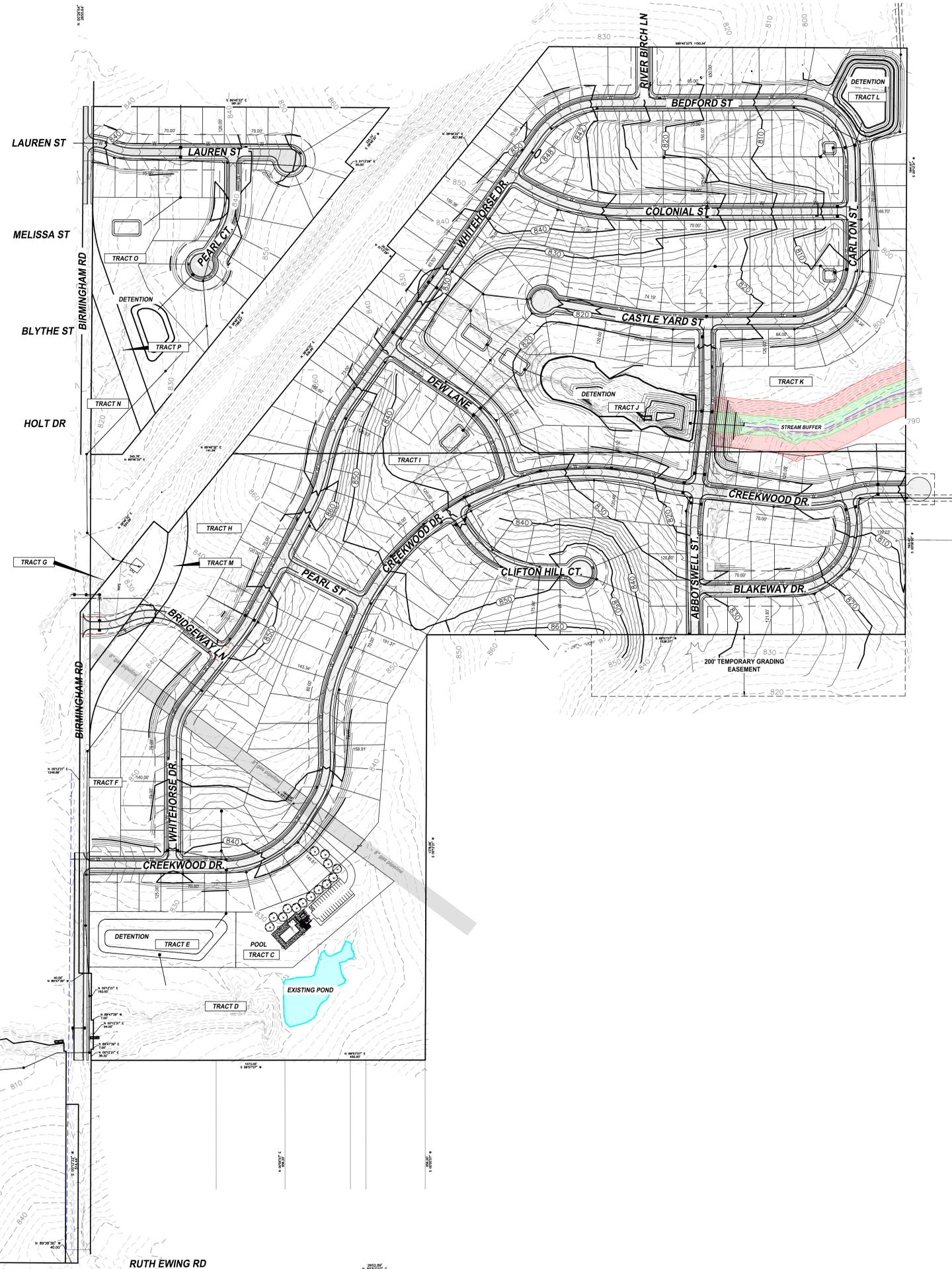


# PRELIMINARY PLAT

## Whitehorse

A Subdivision in Liberty,  
Clay County, Missouri

(Grading Plan)



405 S. Leonard St., Suite D  
Liberty, Missouri 64068

816.781.4200  
fax 792.3666

www.agcengineers.com

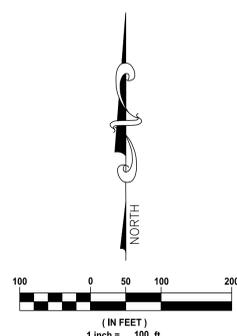
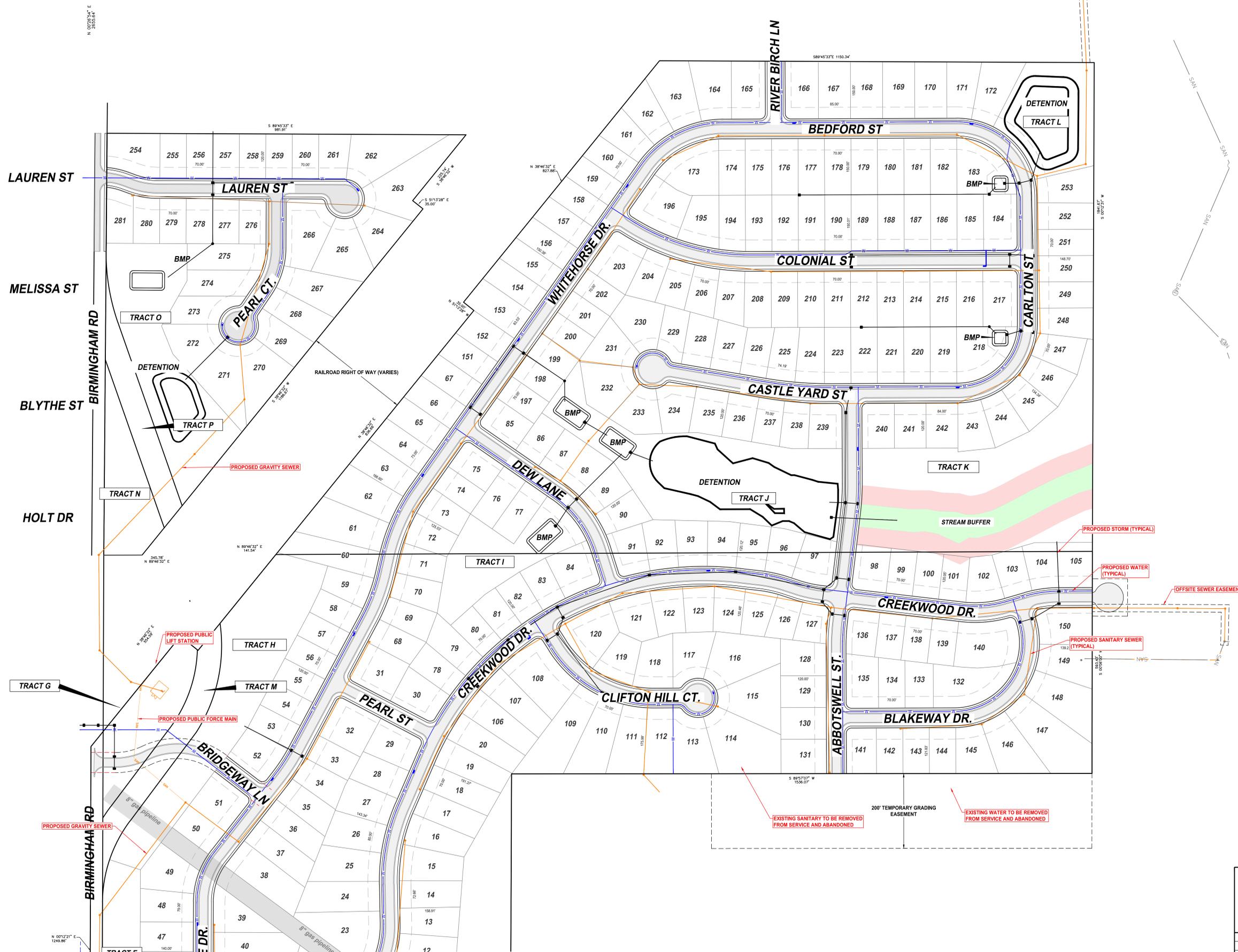
| BY     | REVISION          | DATE     |
|--------|-------------------|----------|
| AA/AEA | Submittal to City | 11-17-25 |
| AA/ACA | Submittal to City | 9-2-22   |
| AA/ACA | Submittal to City | 7-28-22  |

# PRELIMINARY PLAT

## Whitehorse

A Subdivision in Liberty,  
Clay County, Missouri

(Utility Plan 1 of 2)





**AGC Engineers, INC.**

405 S. Leonard St., Suite D  
Liberty, Missouri 64068

816.781.4200  
fax 792.3666  
www.agcengineers.com

| BY     | REVISION          | DATE     |
|--------|-------------------|----------|
| AA/AEA | Submittal to City | 11-17-25 |
| AA/ACA | Submittal to City | 9-2-22   |
| AA/ACA | Submittal to City | 7-28-22  |

**3 of 5**

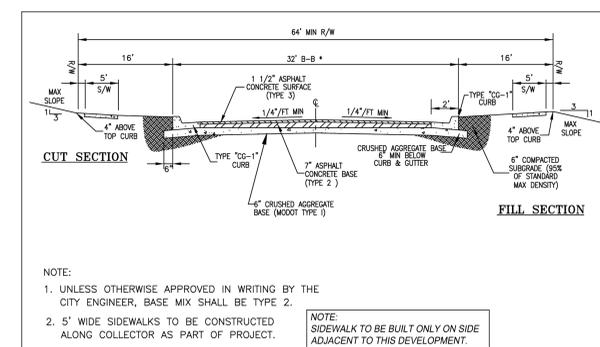
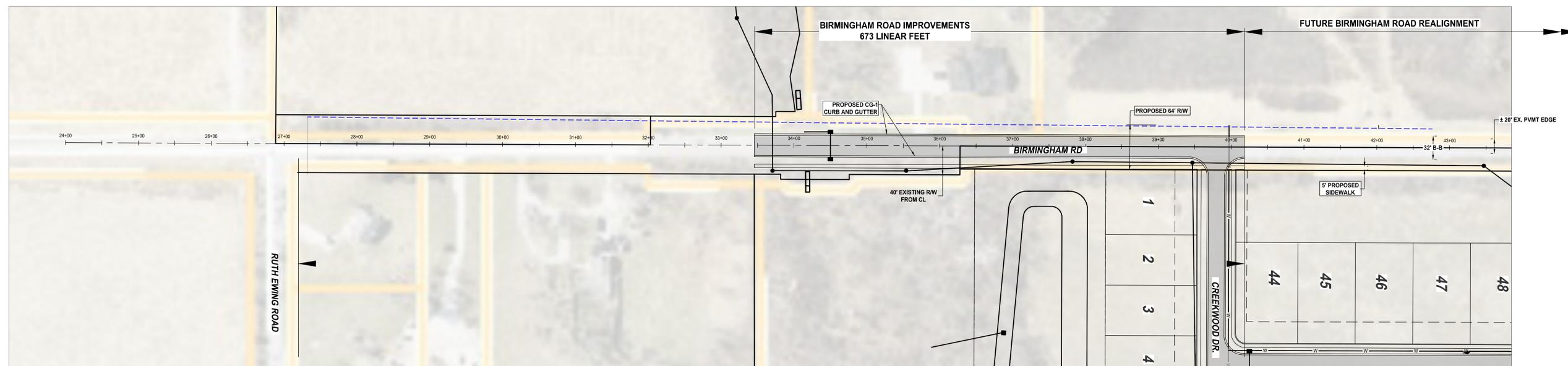
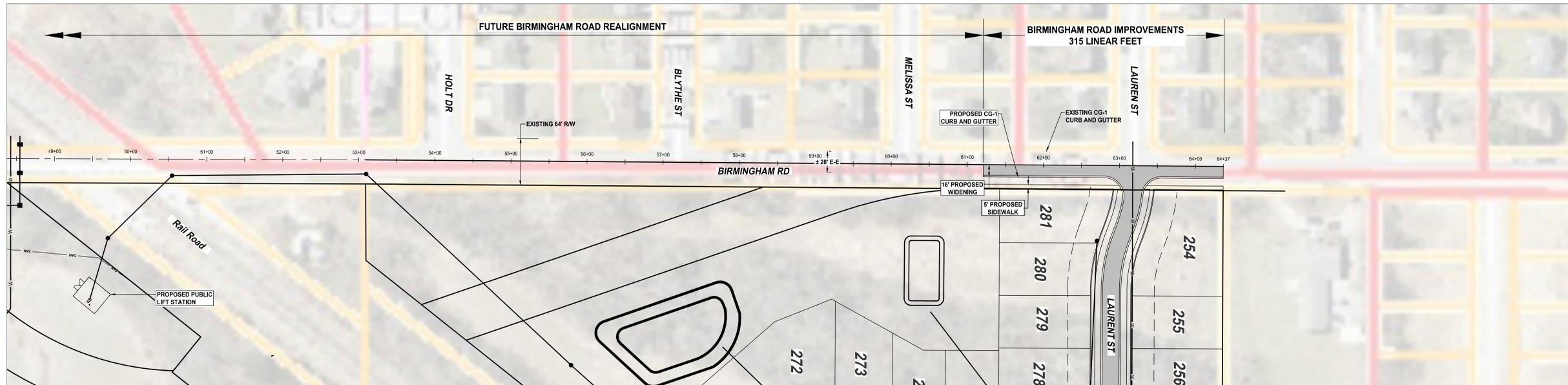


# PRELIMINARY PLAT

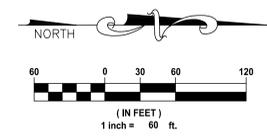
## Whitehorse

A Subdivision in Liberty,  
Clay County, Missouri

### (Birmingham Road Improvements)

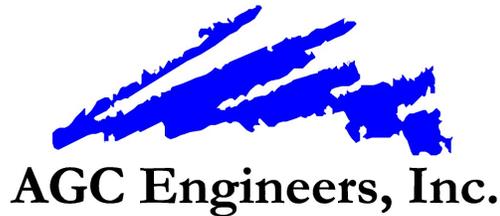


COLLECTOR STREET TYPICAL SECTION  
NOT TO SCALE



**AGC Engineers, INC.**  
405 S. Leonard St., Suite D  
Liberty, Missouri 64068  
816.781.4200  
fax 792.3666  
www.agcengineers.com

| BY     | REVISION          | DATE     |
|--------|-------------------|----------|
| AA/AEA | Submittal to City | 11-17-25 |
| AA/ACA | Submittal to City | 9-2-22   |
| AA/ACA | Submittal to City | 7-28-22  |



November 24, 2025

Mr. Mike Peterman, AICP  
City of Liberty  
101 E. Kansas Street  
Liberty, Missouri 64068

**Re: P&Z (Previous Case 22-42R&PDP): Preliminary Development Plan for Whitehorse single family subdivision.**

In 2022, we developed a preliminary plan/plat for Whitehorse and completed the city review and approval process. However the plat approval had sunset, so we are resubmitting this preliminary plan/plat and variance request for current review and approval. The main difference from the previous approval is that the original phase I of five (5) phases has been eliminated and a pool has been added to the development.

This letter is to serve as a variance request for the following three items.

1. Sewer lift station and force main,

***In researching the existing sewer options for the area, we are showing as Phase IV on the preliminary development plan we found that the sanitary sewer on the east side of the Whitetail Pond is shallow. It appears that they pushed the limits when serving the houses on the east side of the development.***

***Complicating the issue is the storm system on the west side of Birmingham. We looked at the MH's on Blythe and Holt and the manhole down by White Tail Pond back of the lots on Holt Court Cul de Sac.***

***On all three profiles the existing storm 36' to 48" equivalent was in conflict. The existing sanitary sewer is too shallow for us to go under the storm and connect and the existing storm is too shallow to go over.***

***We looked at what it would take to go gravity down on the south side of the tracks. Connecting to the sewer in Phase I. This alignment bucks grade pushing through a hill with 28-foot-deep sewer. Our recommended limits on sewer depth for construction top out at around 22 feet.***

***Our preference would be to connect gravity to the sewer system in Whitetail Pond however we do not see any viable options. We therefore are requesting a variance to allow a lift station for the lots in Phase IV.***

**At the request of staff, we propose gravity line south and under the railroad placing the lift station on the south side of the railroad and east of Birmingham, to limit the length of force main.**

2. Off-site sidewalk improvements for adequate public facilities requirement.

**Requesting wavier of building the sidewalk on the west side of Birmingham where property is currently undeveloped. For this project that would be one parcel 15413000700200 at 1840 Birmingham Rd. Since development of the site would likely destroy a good portion of the walk.**

3. As part of the original review process, we had requested as a variance request for adequate public facilities requirements regarding Birmingham Road. This request was previously stated as follows:

It is understood that typical development of this site would, per City direction of City Code Section 30-35.2, require bringing the existing roadway up to current city standards along the frontage of the property.

City staff had asked the developer to review future separated grade crossing between Birmingham and the existing railroad, to help provide some fore sight into what would be required to accommodate a future city improvement.

From this review it was determined that a separated grade along the existing north south alignment of Birmingham Road with the location of the existing Whitetail Pond development, both in plan and elevation would be difficult. The future improvement would most likely require buying out of existing properties along Birmingham Road and proposed properties on the preliminary plat layout of Whitehorse.

A suggested alternate alignment would provide some distance and workability with the existing Whitetail Pond development eliminating the need for property purchases. It does however encroach into the proposed Whitehorse development eliminating approximately 10 previously planned lots north of the tracks and areas south of the tracks planned for water quality offsets.

This proposed alignment, when built, rolls east onto the proposed Whitehorse development and will remove the existing Birmingham Roadway. This alternate alignment shown on the attached exhibit (Future Birmingham Road Improvements) starts on the north side of the tracks just north of Melissa Street rolling east, then south over the tracks and then back southwest to existing Birmingham, ending up approximately 678' south of the south right of way of the railroad.

The basis of this request for variance is to not improve Birmingham Road where the future improvement would then remove it. The offset for the developer not building this portion of roadway is the loss of developable ground that is being provided for this future improvement.

The request for variance is thus to:

**“Waive the required roadway improvements for approximately the south 832 lf of frontage on the north side of the tracks and the north 678 lf of frontage south of the railroad, with the understanding that the developer will leave open space within this plat available for the future alignment as shown on the preliminary plat.”**

If you have any questions or require further information, please contact me at (816) 781-4200.

Sincerely,

*Art Akin*

Art Akin, P.E.  
President, AGC Engineers, Inc.

Cc: Tim Harris, Star Development  
Matthew Iway, Star Development



## STAFF REPORT

**Planning and Zoning Case 26-08A**

**Staff: Joshua Martinez, Capital Project Engineer**

**Date: February 10, 2026**

### GENERAL INFORMATION

Application: **Glenn Hendren Corridor Reconstruction Study**

Applicant: City of Liberty, Missouri

Public Notice: Legal Notice printed in Courier Tribune- January 21, 2026

File Date: January 2, 2026

### BACKGROUND INFORMATION

Glenn Hendren Dr. was designed and built by the State of Missouri as an Interstate frontage road. It is now owned and maintained by the City of Liberty and functions as a City minor arterial connecting churches, residential neighborhoods, Liberty Hospital and an elementary school to the greater City.

The Leading Liberty Forward Comprehensive Plan which was adopted in 2023 identified Glenn Hendren Dr. as a road recommended for improvement. The Liberty Transportation Master Plan, adopted in 2025, also identified Glenn Hendren Dr. as a candidate for a Complete Street Corridor Project.

In order to align with past City planning and study efforts and better define the future intent of Glenn Hendren Dr., the City Council, in March of 2025, passed Ordinance No. 12074 approving an agreement with George Butler Associates, Inc. for the development of a Corridor Reconstruction Study for Glenn Hendren Dr.. The study is now complete and is being brought forward for formal adoption as a plan.

### STAFF ANALYSIS

The study development included:

- Data Collection and Existing Conditions Assessments
  - A review of the:
    - Comprehensive Plan;
    - Transportation Master Plan;
    - Stormwater Master Plan;
    - Parks and Recreation Master Plan and
    - the Public Tree Inventory & Management Plan

to ensure the Corridor Plan would align with the core values and intent of the City's adopted Plans.

- Review of existing housing and private and public facilities along the corridor.
- Review of topography constraints and existing stormwater concerns and traffic safety conditions.
- Review of existing historical Traffic volumes from the Missouri Department of Transportation.
- Community Engagement
  - Focus Group engagement to understand the perspective of developers and other key stakeholders.
  - Online Survey to gather public feedback on transportation related issues.
  - Public Pop Up Events to meet and interact with people where they were.
  - Public Open House Events to give residents a defined opportunity to meet and interact with project staff.
- Recommendations
  - Implementation of multimodal improvements and corridor amenities along the corridor to encourage and provide a safe avenue for pedestrian and bicycle usage.
  - Addition of turn lanes to increase safety for citizens making turning movements into residential neighborhoods.
  - Addition of storm water measures along the corridor to reduce the impact of runoff from the interstate and Glenn Hendren Dr. on private properties.
  - Intersection modifications to address the cited issues at the intersection of Glenn Hendren Dr. and Nashua Rd.
  - Consideration for the placement of a future flyover as anticipated with the Avira development.

## STAFF RECOMMENDATION

The plan in its final form provides the City a pursuable vision for the future of Glenn Hendren Dr. which has community support and can be used to pursue design and future construction projects in pursuit of that vision. Staff recommends approval of the Glenn Hendren Corridor Reconstruction Study.

## ATTACHMENT

Exhibit A: [Glenn Hendren Corridor Reconstruction Study Link](#) (This is a clickable link to the PDF document)  
(This is still being reviewed and some edits may occur)

**The City Council will consider this request at their regular session on February 23, 2026 held in the Council Chambers, City Hall at 7:00 p.m.**



**STAFF REPORT**

**Planning and Zoning Case 26-05FDP**  
**Staff: Kyle McGinnis, Senior Planner**  
**Date: February 10, 2026**

**GENERAL INFORMATION**

Application: **Final Development Plan for Liberty Hills Townhomes – 49 townhome units spread across 11 four- and five-plex structures on 7.04+/- acres located at the southwest corner of Camille Street and N. Church Road.**

Applicant: Ryan Salliotte  
Kaw Valley Engineering, Inc.  
8040 N. Oak Trafficway  
Kansas City, MO 64118

Owner: United Pentecostal Church of Liberty  
Center 48 Capital, LLC  
1315 Nashua Road  
Liberty, MO 64068

Existing Land Use/Zoning: Undeveloped / PD, “Planned Development”

Future Land Use Designation: Mixed Residential

Surrounding Land Uses/Zoning: **North:** Camille Street, Place Liberte Park / R-1A, “Suburban Residential”  
**South:** N. Church Road, Medical Office / C-2, “General Business”  
**East:** N. Church Road, Undeveloped / PD Flex, “Planned Development Flex District”  
**West:** Warren Hills Elementary School / R-1A, “Suburban Residential”

File Date: December 5, 2025

**PREVIOUS CASE**

**P&Z Case 25-58R&PDP:** Rezoning & Preliminary Development Plan for Liberty Hills Townhomes. Rezoning from R-1A, “Suburban Residential District” to PD, “Planned Development District” for a 49-unit townhome development on 7.04+/- acres located at the southwest corner of Camille Street and N. Church Road. Approved by the City Council on January 12, 2026 (Ordinance No. 12236).

**P&Z Case 06-040FP:** Final Plat for Lot 1, Liberty Hills Baptist Church, A Highway at Camille Street. Approved by the City Council on September 25, 2006 (Ordinance No. 9032).

## APPLICANT'S PROPOSAL

### Summary

Liberty Hills Townhomes is a Planned Development spanning approximately seven acres of land at the southwest corner of Camille Street and N. Church Road, encompassing a total of 49 townhome units spread across 11 four- and five-plex structures. These structures will line both sides of a single private drive – Warren Park Court – taking access from Camille Street and terminating in a cul-de-sac near the southern end of the property. In addition to the townhomes, the applicant has proposed a small, fenced dog park off of Warren Park Court's cul-de-sac to act as a community amenity for residents of this development. The applicant's site plan is attached as Exhibit B.

### Use

The proposal includes 49 townhome units spread across 11 four- and five-plex structures for a total of approximately 6.96 dwelling units per acre.

### Site Design

The subject property is situated at the southwest corner of the intersection of N. Church Road and Camille Street, east of Warren Hills Elementary School. The development will only have one entrance off of Camille Street, north of the site. All 11 of the proposed townhouse structures will line a single private street named Warren Park Court.

A dry detention pond is depicted in the northeast corner of the site; due to the site's topography, a large retaining wall (approximately 20 feet in height at its tallest point) will border this stormwater facility to the north and east, which will be capped by a 3'-6" guardrail fence. Along the site's west boundary, a 50-foot wide landscaped area, including a berm, has been proposed. A small dog park will be provided at the end of the proposed cul-de-sac for use by the development's residents.

### Access/Circulation/Parking

Access to the development will be provided by the private street Warren Park Court, which will intersect with Camille Street to the north. Warren Park Court will be 24 feet wide and will run approximately 770 feet before terminating in a cul-de-sac at the south end of the site. Five-foot wide sidewalks will be provided on both sides of Warren Park Court for its full length and will connect to the public pedestrian infrastructure present along Camille Street. The cul-de-sac will be designed to accommodate emergency service vehicles as required.

Per Sec. 30-83.2 – "Required vehicle parking by use," the standard parking ratio for non-apartment residential uses is a minimum of two parking spaces per dwelling unit. Each townhome dwelling will include a two-car garage to satisfy this requirement, plus additional driveway parking for use by residents and their guests.

### Landscaping, Open Space, & Parkland

The subject property totals approximately seven acres. Per Sec. 30-97.7 of the UDO, at least 20% of the total lot area must be maintained as open space. The applicant's landscape plan (Exhibit C) confirms that approximately 59% of the total lot area will be maintained as open space as part of this development. This plan further confirms that the applicant will provide landscape plantings sufficient to meet the requirements of Sec. 30-97.4, "Development and design standards, landscaping," and Sec. 30-97.5, "Development and design standards, screening and buffering," which together require street trees along both public street frontages and Warren Park Court, a 50-foot wide landscaped area, including a berm, along the property's west edge where it abuts the Warren Hills Elementary School property, and additional plantings spread throughout the property's open space.

Per Sec. 30-94.1, "Parks and open space," as no parkland dedication has been identified for this project, the developer will be responsible for paying a fee-in-lieu of parkland dedication. Per the UDO, this fee-in-lieu of parkland dedication is calculated by multiplying the number of units proposed within the development by the presumed number of inhabitants per unit of 2.6, dividing the product by 100, and multiplying the quotient by \$12,000. The developer will therefore be responsible for the payment of a fee-in-lieu of parkland dedication totaling \$15,288, based on the calculations below.

### **Building Design**

The 49 proposed dwelling units will be spread across 11 townhome structures, each containing between four and five dwellings. These two-story townhome structures will reach a height of approximately 30 feet at the highest peak of the roof. The exteriors will feature a mix of materials, including horizontal fiber cement siding, horizontal vinyl siding, and stone veneer and fiber cement shake siding accents. The roofs will utilize a typical asphalt shingle. Example elevations, including color palettes, are included in Exhibit D. The building design depicted in the Final Development Plan submission matches what was approved by the City Council as part of the Rezoning and Preliminary Development Plan application on January 12, 2026.

## **PUBLIC INFRASTRUCTURE**

The submitted plans for this application have been evaluated in accordance with the adequate public facilities ordinance:

### **Streets**

A Traffic Impact Study (TIS) was conducted by Kaw Valley Engineering, Inc. The findings of this TIS concluded that no improvements would be needed to Camille Street or N. Church Road in order to accommodate the anticipated levels of traffic generated by this proposal. The development will have one entrance, taken from Camille Street to the north. The entire site will be served by a single 24-foot wide private street approximately 770 feet long, terminating in a cul-de-sac at the south end of the property. Five-foot sidewalks will be provided on both sides of the private drive and will connect to the public pedestrian infrastructure located along Camille Street.

### **Sanitary Sewer**

Per the utility plan (Exhibit E), a connection to the public sanitary sewer system will be provided via an existing sanitary sewer easement which traverses the southeast corner of the Warren Hills Elementary School property to the west. The existing sanitary sewer line within this easement is eight inches in diameter. This easement is currently 15 feet wide and will be increased to a 60-foot wide easement in order to accommodate this development. Public Works has notified the applicant that this easement must be formally widened by a separate recorded document prior to the issuance of building permits for this project. Drafts of these documents have been provided to Public Works by the applicant for their review.

### **Water**

Water service will be provided via a connection to an existing 12-inch water main located within the public right-of-way southwest of the site, along N. Church Road (Exhibit E).

### **Stormwater**

A Stormwater Drainage Report was compiled by Kaw Valley Engineering, Inc. This report recommends that the developer construct a dry basin detention pond lined with native vegetation in order to decrease the stormwater rate and volume leaving the property. Stormwater will be collected by an on-site collection system directed to the dry detention area proposed in the northeast corner of the site (Exhibit E) and then

released into the Liberty stormwater system at an acceptable rate. Public Works has notified the applicant that the retaining wall proposed in conjunction with the dry detention basin must be privately maintained by the property owner and will not be the responsibility of the City. Draft covenants for the maintenance of these stormwater management systems have been provided to Public Works for their review.

## STAFF ANALYSIS

Staff analyzes all Final Development Plan applications in accordance with the following criteria described in Section 30-27.8 of the *Unified Development Ordinance* (UDO):

**1. The plan substantially complies with the intent of the comprehensive plan;**

The Future Land Use element of the City’s Comprehensive Plan, *Leading Liberty Forward*, provided this property with the Mixed Residential Future Land Use designation. Per the Plan, the Mixed Residential designation is intended to encompass zoning districts which allow for a mix of traditional detached single-family dwellings alongside, “...complementary, small-scale, and low-density attached housing, including townhomes, row homes, duplexes, and live-work units.” This future land use designation is meant to provide for transitional land uses between traditional single-family subdivisions and more intense uses; in this instance, the proposal would act as a transition between the existing Warren Hills Elementary School site to the west and the proposed hotel area outlined by the Aviara Design Guidelines to the east, across N. Church Road. As a result, staff believes that the proposal substantially complies with the intent of the Comprehensive Plan.

**2. The plan complies with the provisions of this UDO;**

Staff has reviewed the Final Development Plan documents submitted by the applicant and has verified that they comply with the provisions of the UDO.

**3. The plan substantially complies with approved city development standards and policies;**

Staff has reviewed the Final Development Plan documents submitted by the applicant and has verified that they comply with approved City development standards and policies.

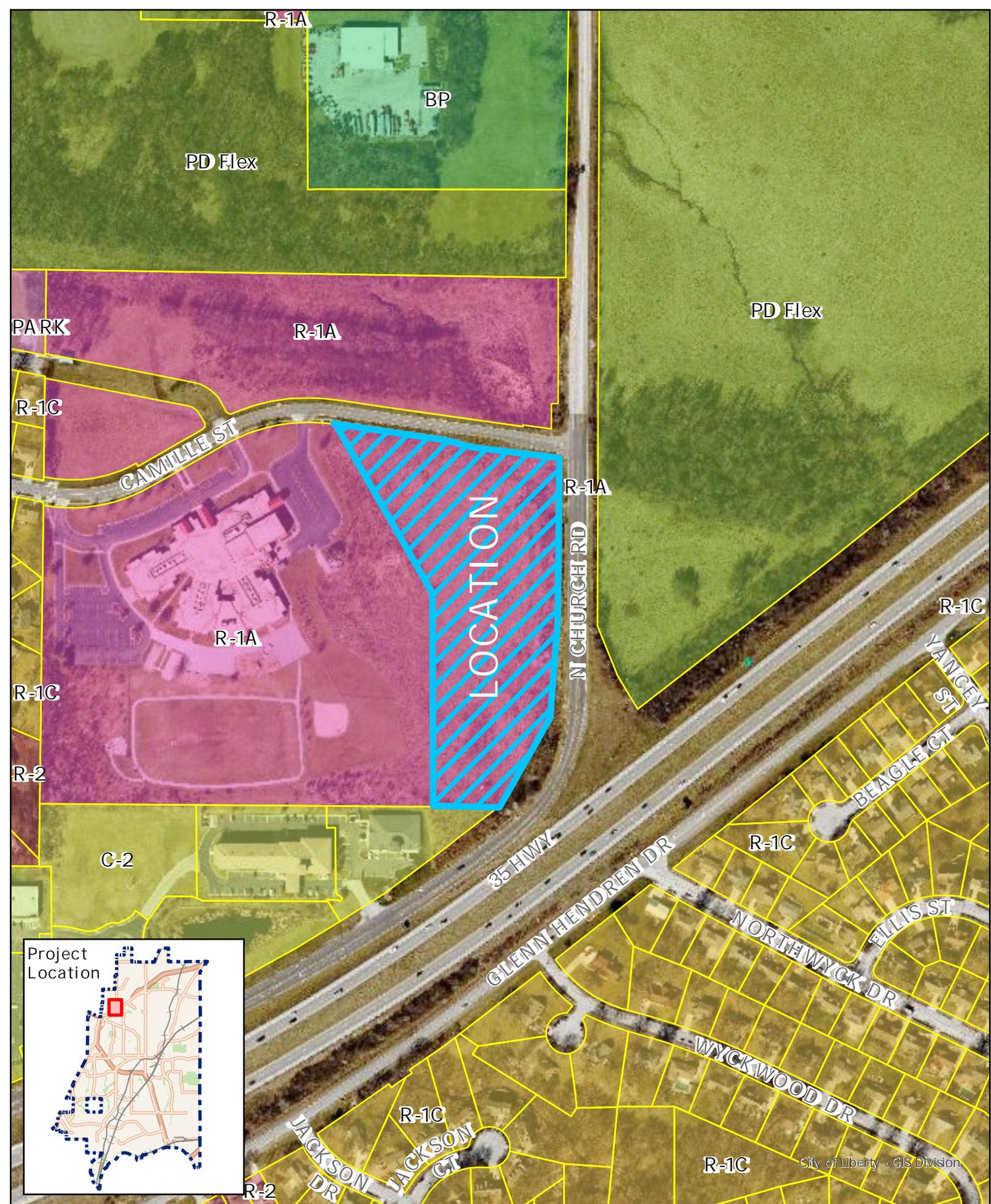
## STAFF RECOMMENDATION

Staff finds this application meets the standards of review for a Final Development Plan (Sec. 30-27.8) and recommends approval of P&Z Case 26-05FDP.

## ATTACHMENTS

- Exhibit A: Vicinity Map
- Exhibit B: Site Plan
- Exhibit C: Landscape Plan
- Exhibit D: Building Elevations
- Exhibit E: Utility Plan

**The City Council will consider this request at their regular session on February 23, 2026 held in the Council Chambers, City Hall at 7:00 p.m.**





GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
  - CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
  - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
  - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
  - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- REFER TO L1.00 SERIES SHEETS FOR TREE PLANTINGS.
- REFER TO L2.00 SERIES SHEETS FOR SHRUB PLANTINGS & ROCK MATERIALS.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.
- IN THE EVENT OF WORK IN OR ON THE SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND AMEND WITH PLANTING SOIL MIX. AREAS WITH MORE THAN 18" OF GRAVEL IN PLANT BEDS SHALL BE EXCAVATED TO 18" OR 8" BELOW ROOT BALLS/BOTTOM OF CONTAINER, REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- FINISHED GRADE TO BE TOP OF MULCH OR TURF FOR ALL LANDSCAPE AREAS. REFER TO CIVIL PLANS FOR GRADING INFORMATION.

LANDSCAPE REQUIREMENTS (LIBERTY, MO):

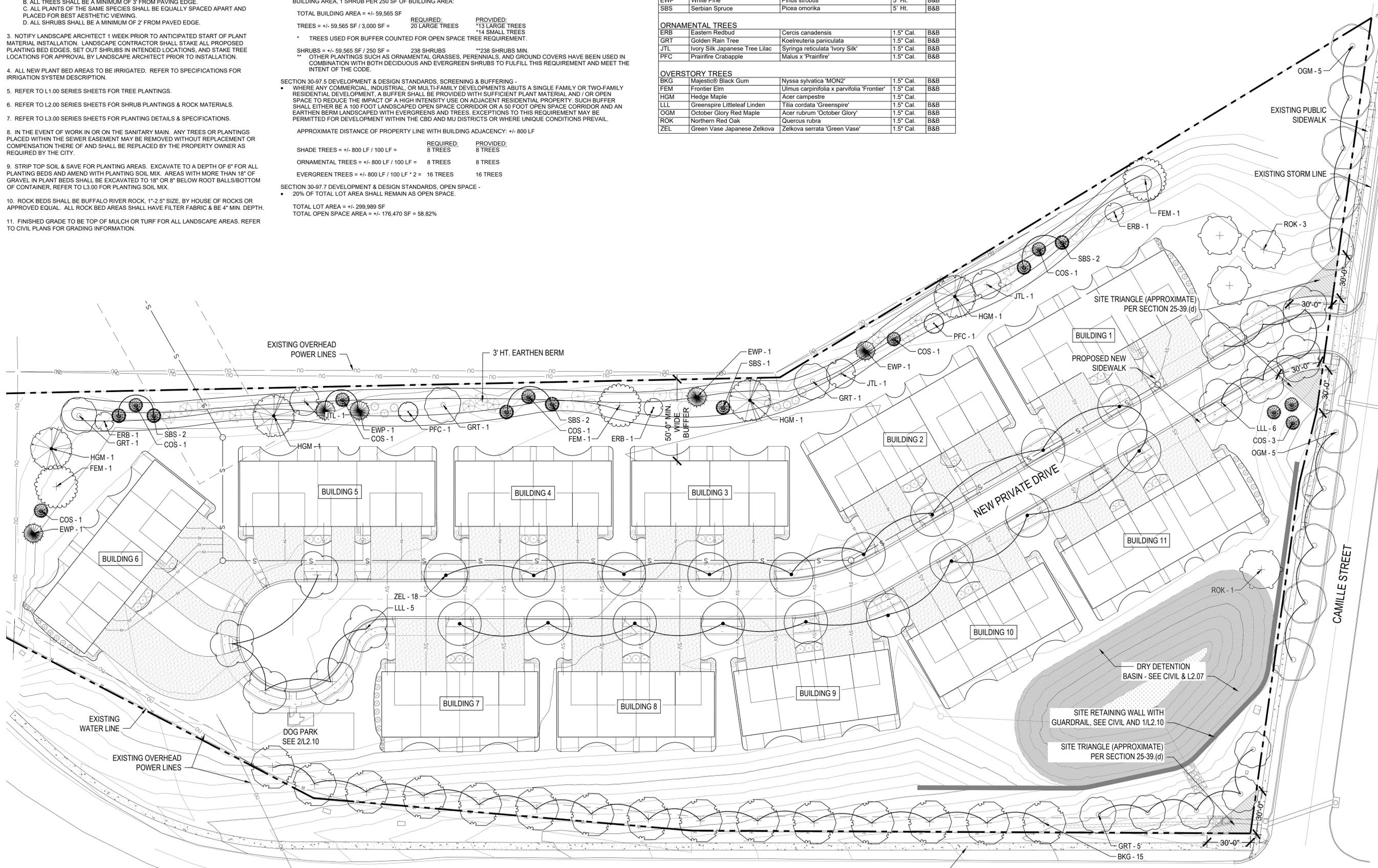
- PER ARTICLE XVI OF THE LIBERTY U.D.O. THE FOLLOWING LANDSCAPE IS REQUIRED:
- SECTION 30-97.4 DEVELOPMENT & DESIGN STANDARDS, LANDSCAPING -
- STREET TREES - ON TREE PER 50 FEET OF PUBLIC OR PRIVATE STREET FRONTAGE:
 

|  |                    |                    |
|--|--------------------|--------------------|
| CAMILLE STREET = +/- 568 LF / 50 LF =      | REQUIRED: 12 TREES | PROVIDED: 12 TREES |
| NORTH CHURCH STREET = +/- 888 LF / 50 LF = | 18 TREES           | 18 TREES           |
  - OPEN SPACE LANDSCAPING - 1 LARGE GROWING TREE (40" MATURE HT.) OR 2 SMALL GROWING TREES PER 3,000 SF OF BUILDING AREA, 1 SHRUB PER 250 SF OF BUILDING AREA.
 

|                                     |                      |                             |
|-------------------------------------|----------------------|-----------------------------|
| TOTAL BUILDING AREA = +/- 59,565 SF | REQUIRED: 238 SHRUBS | PROVIDED: **238 SHRUBS MIN. |
| TREES = +/- 59,565 SF / 3,000 SF =  | 20 LARGE TREES       | **13 LARGE TREES            |
|                                     |                      | **14 SMALL TREES            |
  - SHRUBS = +/- 59,565 SF / 250 SF = 238 SHRUBS \*\*238 SHRUBS MIN.
  - OTHER PLANTINGS SUCH AS ORNAMENTAL GRASSES, PERENNIALS, AND GROUND COVERS HAVE BEEN USED IN COMBINATION WITH BOTH DECIDUOUS AND EVERGREEN SHRUBS TO FULFILL THIS REQUIREMENT AND MEET THE INTENT OF THE CODE.
- SECTION 30-97.5 DEVELOPMENT & DESIGN STANDARDS, SCREENING & BUFFERING -
- WHERE ANY COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY DEVELOPMENTS ABUTS A SINGLE FAMILY OR TWO-FAMILY RESIDENTIAL DEVELOPMENT, A BUFFER SHALL BE PROVIDED WITH SUFFICIENT PLANT MATERIAL AND / OR OPEN SPACE TO REDUCE THE IMPACT OF A HIGH INTENSITY USE ON ADJACENT RESIDENTIAL PROPERTY. SUCH BUFFER SHALL EITHER BE A 100 FOOT LANDSCAPED OPEN SPACE CORRIDOR OR A 50 FOOT OPEN SPACE CORRIDOR AND AN EARTHEN BERM LANDSCAPED WITH EVERGREENS AND TREES. EXCEPTIONS TO THIS REQUIREMENT MAY BE PERMITTED FOR DEVELOPMENT WITHIN THE CBD AND MU DISTRICTS OR WHERE UNIQUE CONDITIONS PREVAIL.
- APPROXIMATE DISTANCE OF PROPERTY LINE WITH BUILDING ADJACENCY: +/- 800 LF
- |   |                   |                   |
|---|-------------------|-------------------|
| SHADE TREES = +/- 800 LF / 100 LF =         | REQUIRED: 8 TREES | PROVIDED: 8 TREES |
| ORNAMENTAL TREES = +/- 800 LF / 100 LF =    | 8 TREES           | 8 TREES           |
| EVERGREEN TREES = +/- 800 LF / 100 LF * 2 = | 16 TREES          | 16 TREES          |
- SECTION 30-97.7 DEVELOPMENT & DESIGN STANDARDS, OPEN SPACE -
- 20% OF TOTAL LOT AREA SHALL REMAIN AS OPEN SPACE.
- TOTAL LOT AREA = +/- 299,989 SF  
TOTAL OPEN SPACE AREA = +/- 176,470 SF = 58.82%

PLANT LIST:

| CODE                    | COMMON NAME                    | BOTANICAL NAME                             | SIZE      | NOTE |
|-------------------------|--------------------------------|--|-----------|------|
| <b>EVERGREEN TREES</b>  |                                |  |           |      |
| COS                     | Blue Colorado Spruce           | Picea pungens 'Glauca'                     | 5' Ht.    | B&B  |
| EWP                     | White Pine                     | Pinus strobus                              | 5' Ht.    | B&B  |
| SBS                     | Serbian Spruce                 | Picea omorika                              | 5' Ht.    | B&B  |
| <b>ORNAMENTAL TREES</b> |                                |  |           |      |
| ERB                     | Eastern Redbud                 | Cercis canadensis                          | 1.5" Cal. | B&B  |
| GRT                     | Golden Rain Tree               | Koelreuteria paniculata                    | 1.5" Cal. | B&B  |
| JTL                     | Ivory Silk Japanese Tree Lilac | Syringa reticulata 'Ivory Silk'            | 1.5" Cal. | B&B  |
| PFC                     | Prairiefire Crabapple          | Malus x 'Prairiefire'                      | 1.5" Cal. | B&B  |
| <b>OVERSTORY TREES</b>  |                                |  |           |      |
| BKG                     | Majestic® Black Gum            | Nyssa sylvatica 'MON2'                     | 1.5" Cal. | B&B  |
| FEM                     | Frontier Elm                   | Ulmus carpinifolia x parvifolia 'Frontier' | 1.5" Cal. | B&B  |
| HGM                     | Hedge Maple                    | Acer campestre                             | 1.5" Cal. | B&B  |
| LLL                     | Greenspire Littleleaf Linden   | Tilia cordata 'Greenspire'                 | 1.5" Cal. | B&B  |
| OGM                     | October Glory Red Maple        | Acer rubrum 'October Glory'                | 1.5" Cal. | B&B  |
| ROK                     | Northern Red Oak               | Quercus rubra                              | 1.5" Cal. | B&B  |
| ZEL                     | Green Vase Japanese Zelkova    | Zelkova serrata 'Green Vase'               | 1.5" Cal. | B&B  |



**nspj**  
ARCHITECTS  
ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
P.913.831.1415  
NSPJARCH.COM  
9415 NALL AVE., #300  
PRAIRIE VILLAGE,  
KANSAS, 66207



A NEW TOWNHOME DEVELOPMENT FOR:  
**LIBERTY HILLS TOWNHOMES**  
CAMILLE STREET & N. CHURCH ROAD  
LIBERTY, MISSOURI

DRAWING RELEASE LOG

|          |                            |
|----------|----------------------------|
| 11.03.25 | PRELIMINARY DEV. PLAN      |
| 10.17.25 | REV. PRELIMINARY DEV. PLAN |
| 12.05.25 | FINAL DEVELOPMENT PLAN     |

REVISIONS

|          |                     |      |            |
|----------|---------------------|------|------------|
| JOB NO.  | 775425              | DATE | 12.05.2025 |
| DRAWN BY | TSC / BH / RD / NSO |      |            |

SHEET NAME  
LANDSCAPE  
TREE PLAN  
SHEET NO.

**L1.00**

FINAL DEVELOPMENT PLAN  
LANDSCAPE TREE PLAN  
1" = 30'-0"

SITE NOTES

- UNLESS NOTED OTHERWISE IN THE PLANS & DETAILS, NEAT EXCAVATE ALL FOOTINGS INTO 2000 PSF (MIN.) SOIL (FIELD VERIFY). 3000 PSI CONC. (+/- 4" SLUMP).
- ALL EXPANSION JOINTS (EJ) TO HAVE SELF LEVELING CAULK OVER FELT TO SEAL - COLOR TO MATCH ADJACENT PAVING.
- REPORT ANY DISCREPANCIES OR MISSING INFORMATION IMMEDIATELY TO THE LANDSCAPE ARCHITECT. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHERE IT IS FOUND THAT KNOWN DISCREPANCIES EXIST. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

**nspj**  
ARCHITECTS

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE

P.913.831.1415  
NSPJARCH.COM

9415 NALL AVE., #300  
PRAIRIE VILLAGE,  
KANSAS, 66207



A NEW TOWNHOME DEVELOPMENT FOR:  
**LIBERTY HILLS TOWNHOMES**  
CAMILLE STREET & N. CHURCH ROAD  
LIBERTY, MISSOURI

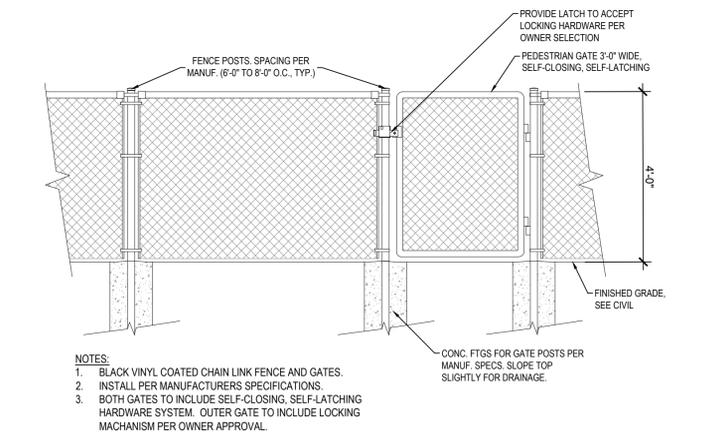
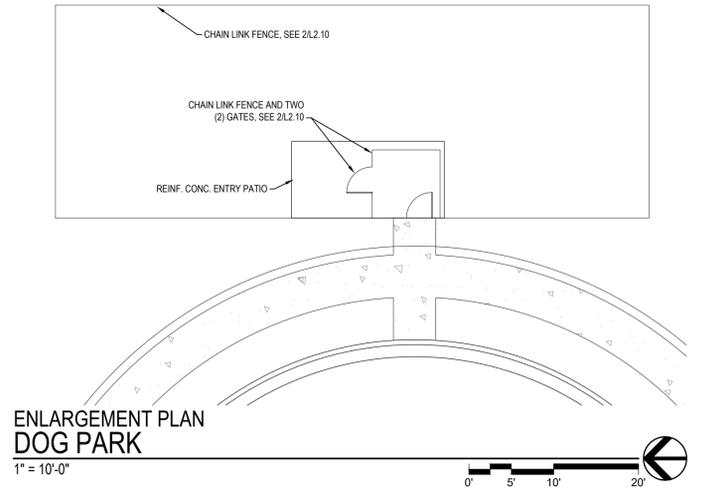
DRAWING RELEASE LOG  
 ● 10.02.25 PRELIMINARY DEV. PLAN  
 ● 10.17.25 REV. PRELIMINARY DEV. PLAN  
 ● 12.05.25 FINAL DEVELOPMENT PLAN

REVISIONS

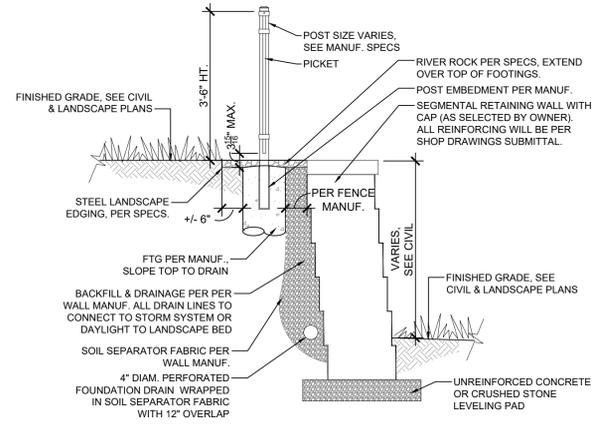
JOB NO. DATE  
**775425** 12.05.2025  
 DRAWN BY  
**TSC / BH / RD / NSO**

SHEET NAME  
**LANDSCAPE SITE  
 DETAILS**  
 SHEET NO.

**L2.10**



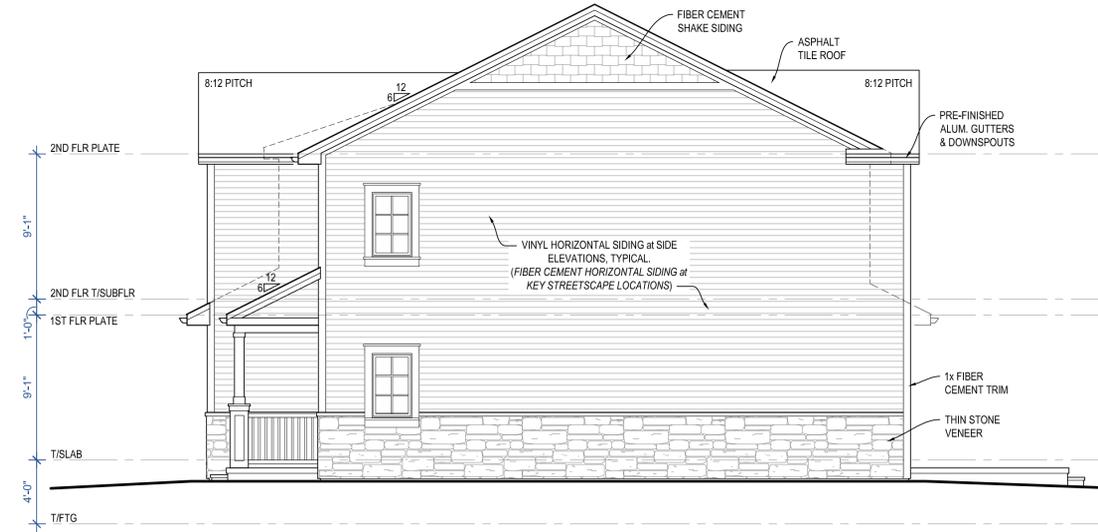
**2** SITE DETAIL DOG PARK FENCE & GATE  
 1/2" = 1'-0"



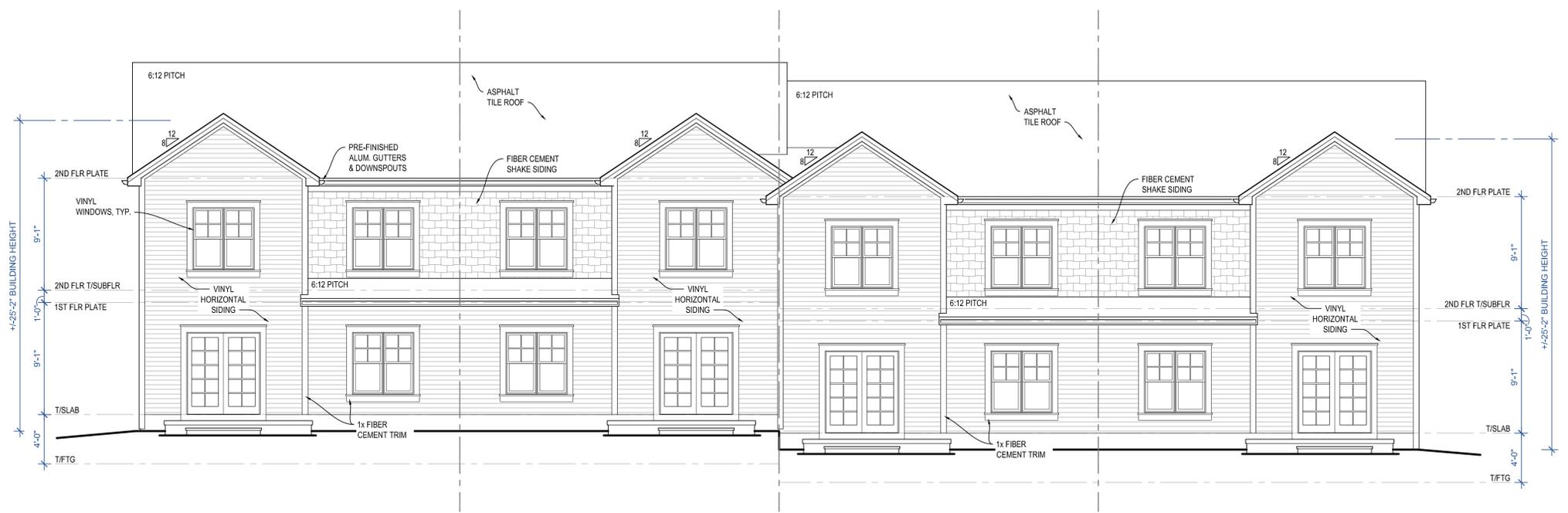
**1** SITE DETAIL SEGMENTAL RETAINING WALL WITH GUARDRAIL  
 1/2" = 1'-0"

- NOTES:
- REFER TO CIVIL FOR LOCATIONS.
  - GUARDRAIL TO BE AMERISTAR MONTAGE PLUS, 3 RAIL MAJESTIC FENCE, OR APPROVED EQUAL, COLOR: BLACK.
  - RETAINING WALL TO BE WEATHERED MOSAIC BY VERSA-LOCK, OR APPROVED EQUAL. COLOR PER OWNER SELECTION.
  - IN ANY EVENT WHERE THE BACK OF THE WALL IS EXPOSED, IT SHALL BE A DOUBLE FACED WALL TO AVOID EXPOSURE OF BACK OF RETAINING WALL BLOCK.
  - WHERE RETAINING WALL BLOCK IS ADJACENT PAVEMENT (I.E. STAIRS, SIDEWALKS, ETC.), AN EXPANSION JOINT PER SPECS. SHALL BE PROVIDED BETWEEN BLOCK AND PAVEMENT.
  - WHENEVER THE DRAIN BEHIND THE WALL IS DAYLIGHTED AND NOT TIED TO THE STORM DRAINAGE SYSTEM, LOCATION OF DAYLIGHT SHALL BE MADE KNOW TO PROJECT LANDSCAPE ARCHITECT FOR POSSIBLE ADDITIONAL TREATMENT AT OUTLET POINT (I.E. ADDING RIVER ROCK).
  - WHERE POSTS ARE LOCATED ON PAVED SURFACE AND NOT EMBEDDED IN A FOOTING, PAVEMENT SHOULD BE GROWNED SLIGHTLY AT EACH POST FOR DRAINAGE. SURFACE MOUNT HARDWARE TO BE PROVIDED AND INSTALLED PER MANUF. SPECS. CONTRACTOR ALSO TO PROVIDE SAFETY CAPS FOR ALL EXPOSED BOLTS OR NUTS, AND ALL EXPOSED SHARP EDGES SHOULD BE GROUND SMOOTH REPAINTED TO MATCH.





PRELIMINARY  
**2** 4-PLEX RIGHT ELEVATION  
3/16" = 1'-0"



PRELIMINARY  
**1** 4-PLEX REAR ELEVATION  
3/16" = 1'-0"

A NEW TOWNHOME DEVELOPMENT FOR:  
**LIBERTY HILLS TOWNHOMES**  
CAMILLE STREET & N. CHURCH ROAD  
LIBERTY, MISSOURI

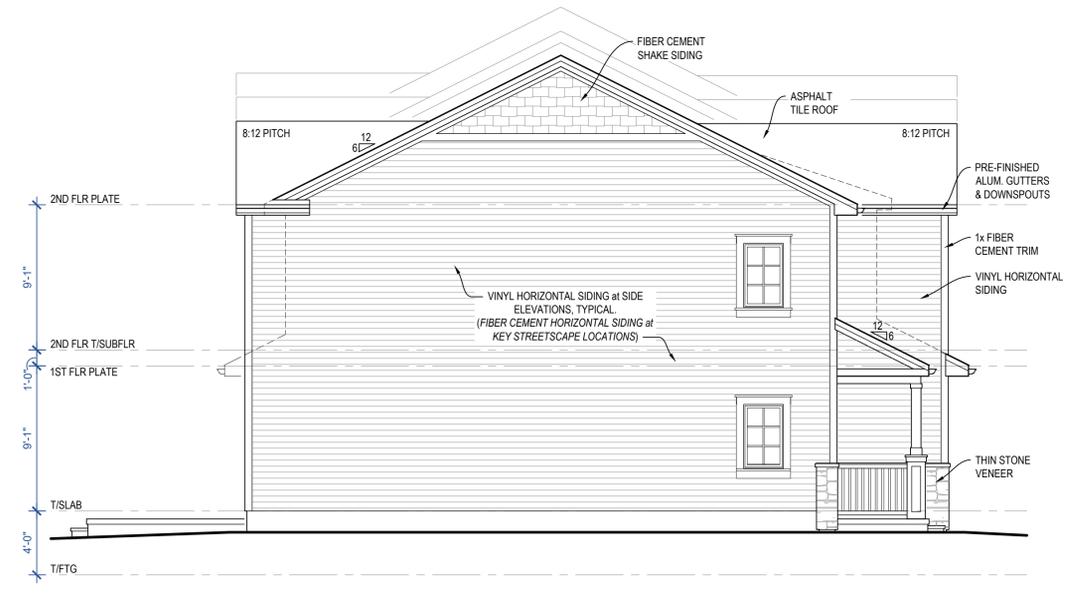
DRAWING RELEASE LOG  
 ● 10.03.25 PRELIMINARY DEV. PLAN  
 ● 10.17.25 REV. PRELIMINARY DEV. PLAN  
 ● 12.05.25 FINAL DEVELOPMENT PLAN

REVISIONS

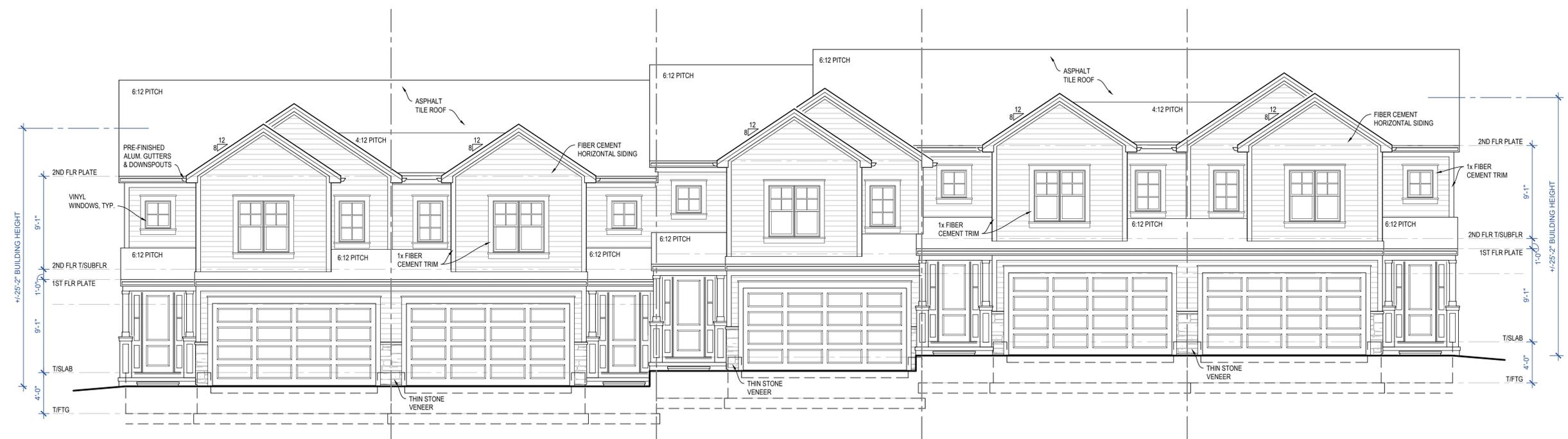
JOB NO. 775425 DATE 12.05.2025  
 DRAWN BY TSC / BH / RD / NSO

SHEET NAME  
**4-PLEX  
 BLDG. ELEVATIONS**  
 SHEET NO.

**A4**



PRELIMINARY  
**5-PLEX LEFT ELEVATION**  
3/16" = 1'-0"



PRELIMINARY  
**5-PLEX FRONT ELEVATION**  
3/16" = 1'-0"

A NEW TOWNHOME DEVELOPMENT FOR:  
**LIBERTY HILLS TOWNHOMES**  
CAMILLE STREET & N. CHURCH ROAD  
LIBERTY, MISSOURI

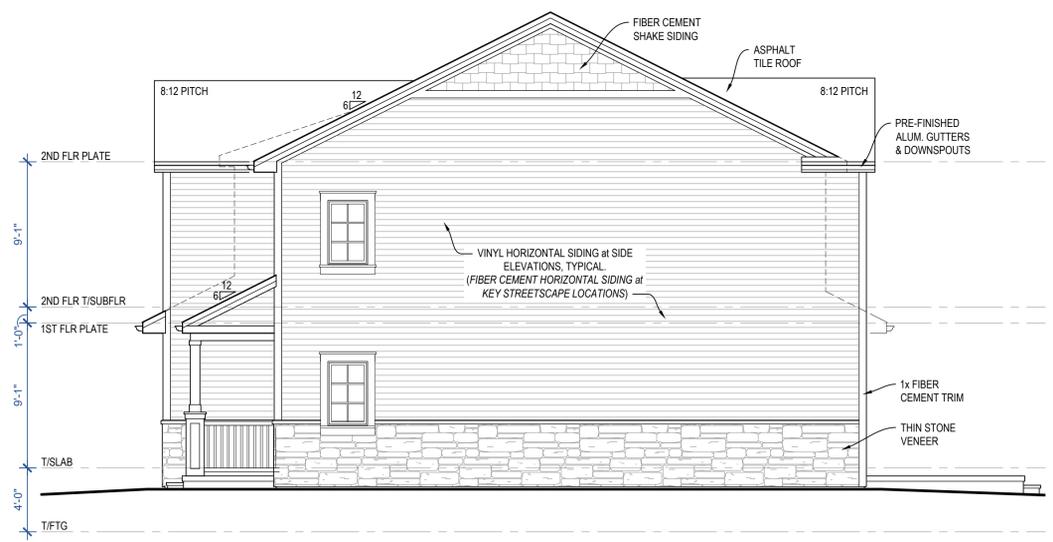
DRAWING RELEASE LOG  
 ● 10.02.25 PRELIMINARY DEV. PLAN  
 ● 10.17.25 REV. PRELIMINARY DEV. PLAN  
 ● 12.05.25 FINAL DEVELOPMENT PLAN

REVISIONS

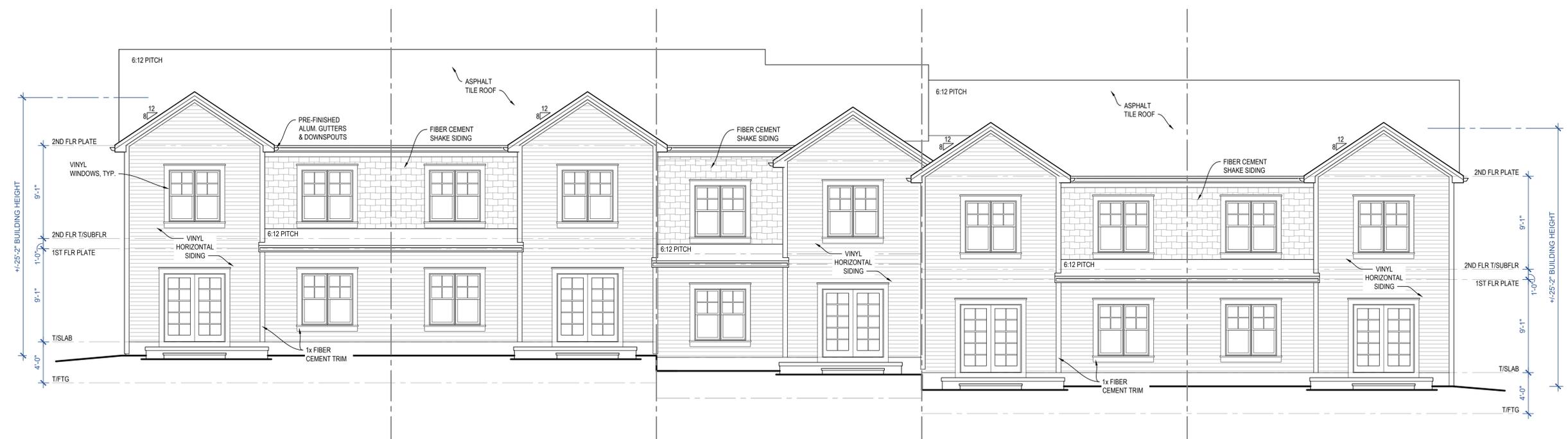
JOB NO. 775425 DATE 12.05.2025  
 DRAWN BY TSC / BH / RD / NSO

SHEET NAME  
**5-PLEX  
 BLDG. ELEVATIONS**  
 SHEET NO.

**A5**



**PRELIMINARY  
5-PLEX RIGHT ELEVATION**  
② 3/16" = 1'-0"



**PRELIMINARY  
5-PLEX REAR ELEVATION**  
① 3/16" = 1'-0"

A NEW TOWNHOME DEVELOPMENT FOR:  
**LIBERTY HILLS TOWNHOMES**  
CAMILLE STREET & N. CHURCH ROAD  
LIBERTY, MISSOURI

**DRAWING RELEASE LOG**  
● 10.02.25 PRELIMINARY DEV. PLAN  
● 10.17.25 REV. PRELIMINARY DEV. PLAN  
● 12.05.25 FINAL DEVELOPMENT PLAN

△ REVISIONS

JOB NO. 775425 DATE 12.05.2025  
DRAWN BY TSC / BH / RD / NSO

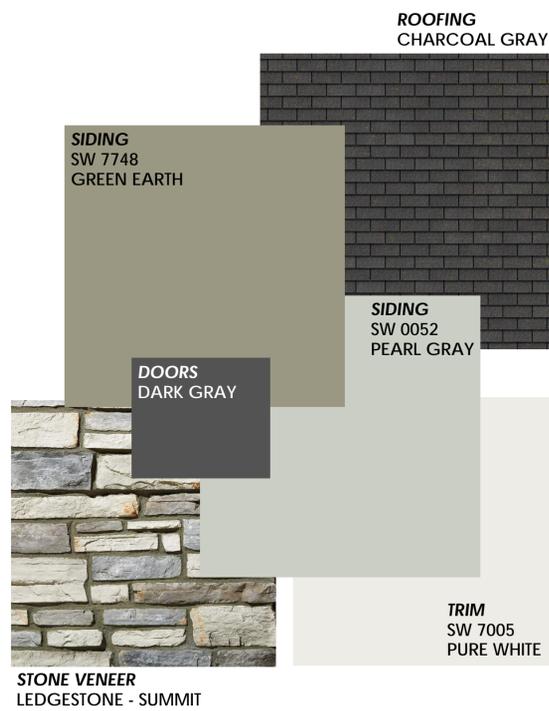
SHEET NAME  
**5-PLEX  
BLDG. ELEVATIONS**  
SHEET NO.

**A6**





EXTERIOR COLOR PALETTE 'A'



EXTERIOR COLOR PALETTE 'B'



EXTERIOR COLOR PALETTE 'C' (SHOWN BELOW)



A NEW TOWNHOME DEVELOPMENT FOR:  
**LIBERTY HILLS TOWNHOMES**  
CAMILLE STREET & N. CHURCH ROAD  
LIBERTY, MISSOURI

DRAWING RELEASE LOG  
10.03.25 PRELIMINARY DEV. PLAN  
10.17.25 REV. PRELIMINARY DEV. PLAN  
12.05.25 FINAL DEVELOPMENT PLAN

REVISIONS

JOB NO. DATE  
775425 12.05.2025  
DRAWN BY  
TSC / BH / RD / NSO

SHEET NAME  
COLORED ELEVATION

SHEET No.  
**A8**



PRELIMINARY  
**4-PLEX REAR ELEVATION**  
(COLOR PALETTE 'C')

**STORM SEWER CONSTRUCTION NOTES:**

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 2600 STORM SEWER OF THE KANSAS CITY METRO CHAPTER OF APWA SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF LEE'S SUMMIT, MISSOURI. STANDARD SPECIFICATIONS, REFERENCE APWA SPECIFICATION SECTION 2102.4 FOR EXCAVATION, TRENCHING AND BACKFILLING FOR PIPE AND STORM STRUCTURES. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED. REFER TO THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. COMPACTION TESTS SHALL BE TAKEN EVERY 150' (PER LIFT), AT EACH PAVEMENT CROSSING (PER LIFT) AND AT LOCATIONS DESIGNATED BY THE CITY INSPECTOR OR OWNER'S TESTING AGENCY. ALL TRENCH BACKFILL WHICH DOES NOT MEET THE REQUIRED DENSITY SHALL BE RE-EXCAVATED AND RE-COMPACTED UNTIL THE REQUIRED DENSITY IS OBTAINED. COPIES OF ALL COMPACTION TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER.
- PIPE FOR SEWER CONSTRUCTION SHALL CONFORM TO SECTION 2602 UNLESS NOTED OTHERWISE.
- A MINIMUM OF 18" COVER SHALL BE PROVIDED PRIOR TO AND MAINTAINED AFTER INSTALLATION OF STORM SEWER.
- ALL COORDINATES FOR CURB INLETS ARE TO THE MIDDLE OF THE INSIDE FRONT FACE. ALL COORDINATES FOR PVC STRUCTURES AND CONCRETE YARD INLETS ARE TO THE CENTER OF THE STRUCTURE.
- ALL JUNCTION BOXES/AREA INLETS HAVE ONE COORDINATE PROVIDED AT THE CENTER OF STRUCTURE. SEE PLAN FOR CLARIFICATION. ORIENT STRUCTURES PARALLEL TO ADJACENT CURB, BUILDING OR WALL FACE, UNLESS NOTED OTHERWISE.
- RIM ELEVATION IS PROVIDED AT COORDINATE, UNLESS NOTED OTHERWISE. CONTRACTOR TO ADJUST ELEVATION OF RIM AS REQUIRED TO MATCH SLOPE OF ADJACENT CURB LINE. REFER TO GRADING PLAN (C300 SERIES SHEETS).
- ALL EXISTING UTILITIES INDICATED ON THE DRAWING ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
- ALL BACKFILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT MAXIMUM DRY DENSITY AT +/-3% OPTIMUM MOISTURE AS DETERMINED BY STANDARD PROCTOR COMPACTION TEST.
- ALL EXCAVATION BENEATH THE STREETS AND PARKING LOTS FOR DRAINAGE PIPE LESS THAN 4'-0" IN DIAMETER SHALL BE BACKFILLED WITH AGGREGATE TO FOUR FEET (4') PAST BACK OF CURB IN ACCORDANCE WITH APWA SPECIFICATIONS SECTION 2102.4J.
- RELOCATION OF ANY WATER LINE, SEWER LINE OR SERVICE LINE THEREOF REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT THEIR EXPENSE.
- IF PRECAST STORM STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.
- ALL HDPE PIPE JOINTS SHALL BE WATER TIGHT.
- SEE LANDSCAPE PLAN BED PIPE DETAIL ON SHEET C690.
- PIPE LENGTHS INCLUDE FLARED END SECTIONS.
- CURB INLET SHALL INCLUDE INLET STAMP PER LIBERTY DETAIL D41-1B OR APPROVED EQUAL.
- IN ANY FILL SCENARIO BENEATH THE PIPE, FILL SHALL BE PLACED AND COMPACTED PRIOR TO THE LAYING OF THE PIPE.

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

**SAFETY NOTICE TO CONTRACTOR:**

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

**WARRANTY / DISCLAIMER:**

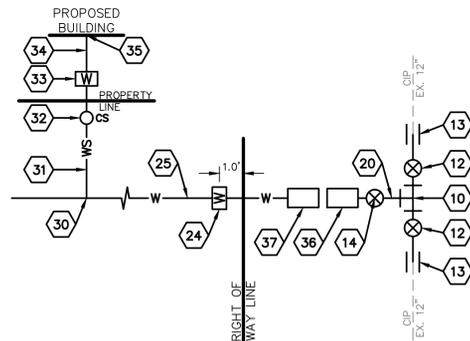
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

**CAUTION - NOTICE TO CONTRACTOR:**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. **THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.**

**LEGEND**

- S SANITARY SEWER LINE
- SV SANITARY SERVICE LINE
- D STORM LINE
- W WATER MAIN
- WS WATER SERVICE LINE
- S OVERHEAD UTILITY LINES



**WATERLINE SCHEMATIC**

N.T.S.

**NOTE:**

ALL WATER SERVICE INSTALLATIONS, INCLUDING BACKFLOW DEVICES, ARE SUBJECT TO FIELD VERIFICATION, AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

**NOTES**

- INSTALL 12"x12"x6" DIP TEE
- INSTALL 12" GATE VALVE
- INSTALL 12" SOLID SLEEVE
- INSTALL 6" GATE VALVE
- INSTALL 6" DUCTILE IRON WATER LINE
- 6" METER WITH PIT (1' MINIMUM FROM PROPERTY LINE)
- 6" SDR 21 CLASS 200 PVC WATER LINE
- TAP SERVICE CONNECTION
- INSTALL TYPE K COPPER WATERLINE OR HDPE SDR9 C901 WATERLINE
- CURB STOP, 1 FOOT BEHIND CURB, LOCATED DIRECTLY BETWEEN WATER MAIN AND BUILDING FOOTPRINT
- METER WITH PIT
- TYPE "K" COPPER WATER LINE (MINIMUM LENGTH = 5.0')
- POINT OF CONNECTION - WATER SERVICE LINE TO BUILDING (SEE MEP FOR CONTINUATION)
- 6" METER VALVE PER LIBERTY STANDARD DETAIL D50-12
- INSTALL BACKFLOW VAULT PER LIBERTY DETAIL D50-9
- CONTRACTOR TO REMOVE EXISTING 8" PVC STUB PIPE, AND CONNECT PROPOSED 8" D.I.P. TO MANHOLE AT EXISTING CONNECTION POINT
- SETBACK CURB INLET PER CITY OF LIBERTY STANDARD DETAIL D41-1 AND INLET STAMP PER CITY OF LIBERTY STANDARD DETAIL D-41-1B
- FIRE HYDRANT ASSEMBLY PER CITY OF LIBERTY DETAIL D50-5A.
- NYLOPLAST BASIN WITH SOLID GRATE
- 12" HDPE PIPE
- 30" HDPE PIPE
- RIP RAPPED APRON

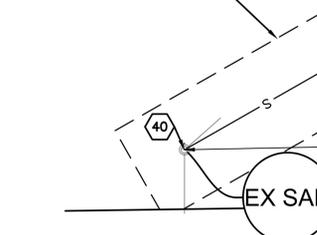
**BENCHMARKS AND CONTROL POINTS:**

- BM#61: 'PLUS' CUT ON NORTHWEST CORNER OF A CURB INLET LOCATED ON A CURB INLET AT THE NORTH SIDE OF CAMILLE STREET ACROSS FROM SUBJECT PROPERTY.  
 N=1130985.32'  
 E=2806354.28'  
 ELEV=958.72'
- BM#60: 'SQUARE' CUT ON NORTHWEST CORNER OF A H2O VAULT AT THE FIRST ENTRANCE TO WARREN HILLS ELEMENTARY SCHOOL.  
 N=1130977.56'  
 E=2806061.01'  
 ELEV=984.85'
- CP#100: 1/2"x24" REBAR W/ORANGE CNTL CAP  
 N= 1130879.89'  
 E= 2806665.84'  
 ELEV= 936.18'
- CP#101: 1/2"x24" REBAR W/ORANGE CNTL CAP  
 N= 1130987.07'  
 E= 2806064.46'  
 ELEV= 983.69'
- CP#302: 1/2"x24" REBAR W/ORANGE CNTL CAP  
 N= 1130129.86'  
 E= 2806682.32'  
 ELEV= 964.57'

- DETAILS - SEE DETAIL SHEET FOR THE FOLLOWING DETAILS**
- 423 FLARED END SECTION
  - 500 POND RELEASE STRUCTURE

SEE PUBLIC IMPROVEMENT PLANS

PROPOSED 60.0' SAN EASEMENT



|         |             |
|---------|-------------|
| MAC     | CHK         |
| DWN     | CHK         |
| DSN     | CHK         |
| INITIAL | DESCRIPTION |
| 12/5/25 | DATE        |
| 0       | REV         |

MATTHEW A. CROSS  
ENGINEER  
MO # 2020008364

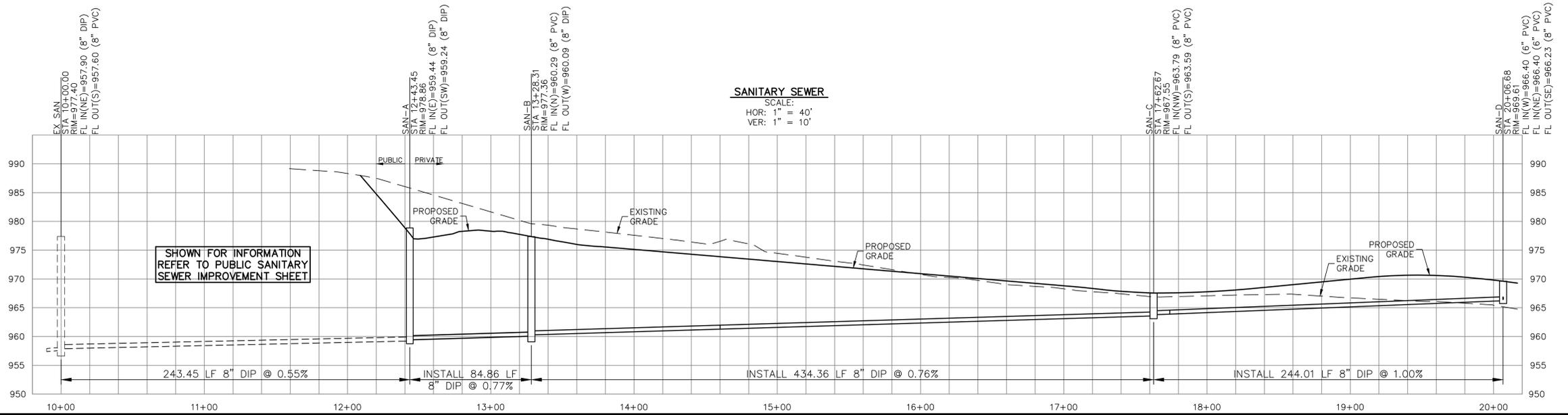
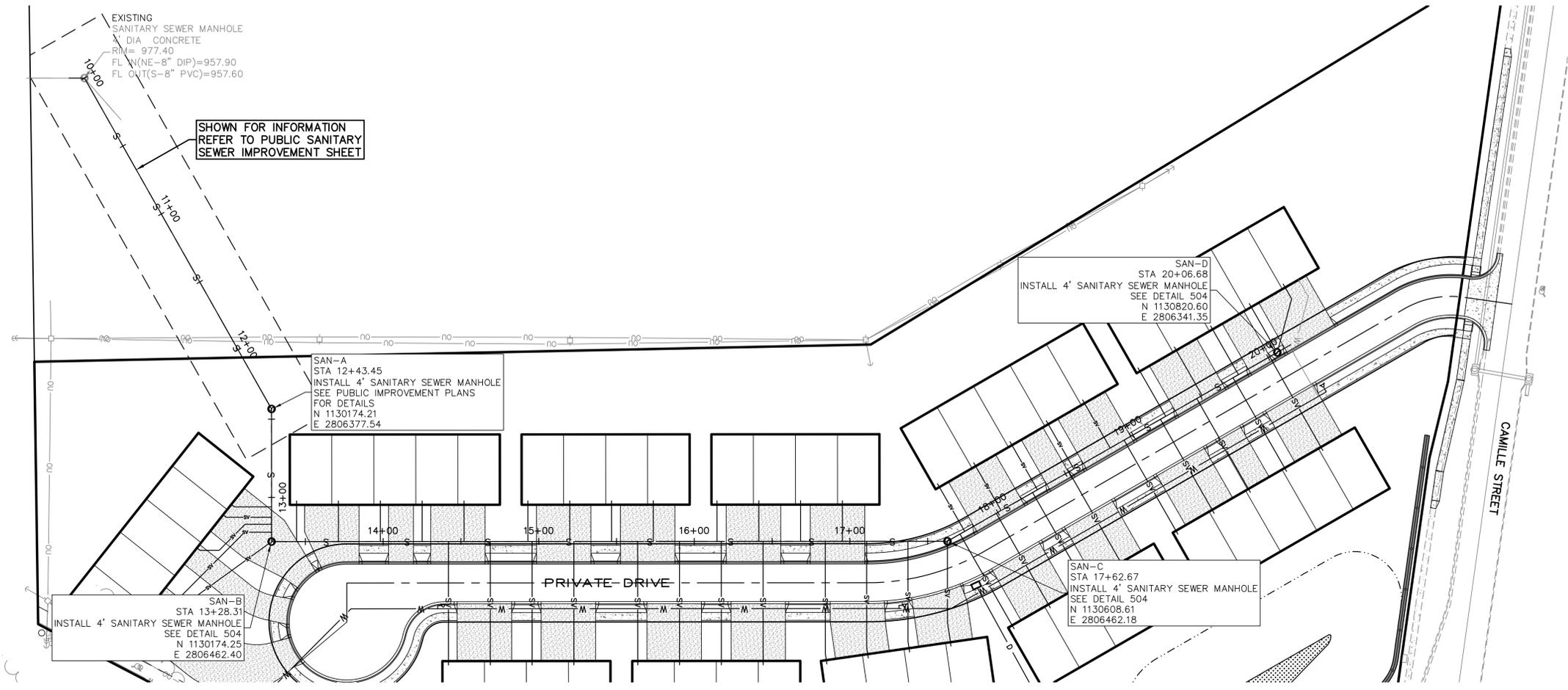
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KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25.

**LIBERTY HILLS TOWNHOMES**  
CAMILLE ST & N CHURCH RD  
LIBERTY, CLAY COUNTY, MISSOURI

**FINAL DEVELOPMENT PLANS**  
UTILITY PLAN

|           |            |
|-----------|------------|
| PROJ. NO. | B2505223   |
| DESIGNER  | MAC        |
| DRAWN BY  | JAD        |
| CFN       | 5223FDP-UP |
| SHEET     | REV        |
| FDP5.0    | 0          |





**SANITARY SEWER**  
 SCALE:  
 HOR: 1" = 40'  
 VER: 1" = 10'

SHOWN FOR INFORMATION  
 REFER TO PUBLIC SANITARY  
 SEWER IMPROVEMENT SHEET

SHOWN FOR INFORMATION  
 REFER TO PUBLIC SANITARY  
 SEWER IMPROVEMENT SHEET

|     |         |                   |     |     |     |     |
|-----|---------|-------------------|-----|-----|-----|-----|
| 0   | 12/5/25 | INITIAL SUBMITTAL | DSN | DWN | MAC | CHK |
| REV | DATE    | DESCRIPTION       |     |     |     |     |

MATTHEW A. CROSS  
 ENGINEER  
 MO # 2020008364

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 www.kawvalley.com

**KAW VALLEY ENGINEERING**

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**LIBERTY HILLS TOWNHOMES**  
 CAMILLE ST & N CHURCH RD  
 LIBERTY, CLAY COUNTY, MISSOURI

**FINAL DEVELOPMENT PLANS**  
 UTILITY PLAN

PROJ. NO. **B2505223**  
 DESIGNER **MAC** DRAWN BY **JAD**  
 SHEET **5223FDP-SPP** REV

FDP5.1 0



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