



**HISTORIC DISTRICT
REVIEW COMMISSION
Regular Meeting**

March 15, 2022

5:30 pm

City Council Chambers



HISTORIC DISTRICT REVIEW COMMISSION
Meeting Agenda
March 15, 2022
5:30 p.m.
City Council Chambers

Call to Order

Roll Call

John Carr, Vern Drotz, Aimee Gray, Mike Gilmore, Matt Grundy, Dail Hobbs, Martha Reppert, Brett Rinker, Doug Wilson

- I. Approval of Meeting Summary: March 1, 2022 HDRC Meeting Summary
- II. Current Business

HDRC Case #22-002LA Consideration of a Certificate of Appropriateness for a privacy fence at 758 W. Liberty Drive, Liberty Landmark

HDRC Case #22-004D Consideration of a Certificate of Appropriateness for removal of an exterior door at 331 W. Kansas Street, Dougherty Historic District

III. Other Business

- a. Administrative Approvals since the March 1, 2022 meeting:
 - i. HDRC Case# 22-001LA Picket Fence in rear yard at 758 W Liberty Drive, Liberty Landmark
 - ii. HDRC Case# 22-002J like in kind repairs to the handrails, Jewell Historic District
- b. Miscellaneous matters from the Commission:
- c. Miscellaneous matters from Staff:

IV. Adjournment

LIBERTY HISTORIC DISTRICT REVIEW COMMISSION
Meeting Summary
March 1, 2022
Zoom Video Conference
4:00 p.m.

Roll Call: John Carr, Vern Drottz, Aimee Gray, Mike Gilmore, Matt Grundy, Dail Hobbs, Martha Reppert, Brett Rinker, Doug Wilson

Present: John Carr, Vern Drottz, Mike Gilmore, Dail Hobbs, Martha Reppert, Doug Wilson

Absent: Aimee Gray, Matt Grundy, Brett Rinker

Staff Present: Jeanine Thill, Community Development Manager and Katherine Sharp, Director of Planning & Development

Vice Chairman Carr called the meeting to order at 4:01 p.m.

Approval of Meeting Summary: February 15, 2022 HDRC Meeting Summary

A motion was made by Commissioner Gilmore to approve the February 15, 2022 meeting summary as presented. The motion was seconded by Commissioner Reppert. The motion passed 6-0-0.

Current Business

HDRC Case # 22-001LS Consideration of a Certificate of Appropriateness for new windows and like in-kind repairs at 12 N. Main, Liberty Square Historic District:

- Mr. Drew said they are using top of the line Marvin windows. There will be ten window sills replaced and tuckpointing of interior and exterior.
- Vice Chairman Carr commented that when he toured the property about a year ago, it appeared that the windows on the east elevation are not the original windows. Mr. Drew confirmed that they are not original.
- Vice Chairman Carr said in the back of the building on the west side it appears that one lower sash is a divided lite. He asked the applicant if the windows will be one lite over one lite. Mr. Drew said they will all be one piece of glass over the other, one over one.
- Vice Chairman Carr said he would prefer the new windows be divided lite, but one lite over one lite would be appropriate, especially since it is a secondary elevation. Commissioner Gilmore agreed it would be appropriate. Commissioner Drottz agreed one over one windows would be fine.
- Vice Chairman Carr commented that the proposed window details are really good.

A motion was made by Commissioner Wilson to approve the application as presented, the motion was seconded by Commissioner Reppert. Commissioner Drottz recused himself from the vote. The motion passed 5-1-0.

Other Business

Administrative Approvals since the February 15, 2022 meeting: None

Miscellaneous matters from the Commission:

- Vice Chairman Carr said that he spoke to the son of the owner of 226 N. Jewell; they are supposed to get the new siding this next week.
- Vice Chairman Carr said that 462 E. Kansas is almost gutted and it is a good opportunity for those that might be interested to see the 'before' of the project.
- In person meetings will start next month. Staff will confirm that the City Council Chambers are available for the meetings.

Miscellaneous matters from Staff:

- Ms. Thill reported that there will be recognition and plaques given by Historic Downtown Liberty Inc. and HDRC at the May City Council Meeting; a Preservation Plan Action Item. She asked for a formal vote to approve those that will be recognized.
 - A motion was made by Commissioner Gilmore to accept the list of those to recognize during preservation month: Ken Personett for several historic home renovations, Sam Fiore for improvement to the Dougherty House, and Chris Harris for his preservation efforts, the motion was seconded by Commissioner Drottz. The motion passed 6-0-0.
- Another Preservation Plan Action Item is in progress: Recognize the County's Bicentennial – Staff is working on story boards to recognize the County's Bicentennial and the past living Liberty Mayors; this will be in the City Hall Atrium in May.

The meeting adjourned at 4:18 p.m.

Historic District Review Commission

The City of



HDRC Case No. 22-002LA

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: March 15, 2022

GENERAL INFORMATION

Application: Certificate of Appropriateness for a rear yard privacy fence
 Applicant: Skyanna Page
 Location: 758 W. Liberty Dr.
 District: Local Landmark: Ringo House
 NRHP Status/category: Clardy Heights National Register District
 File Date: March 2, 2022

SPECIFIC INFORMATION

SITE HISTORY

The house features a steeper pitched gable roof than most Greek Revival homes, with a center front gable. The original owner has a large family, and it is possible that the attic floor served as bedrooms from the beginning. The other features are more typical of the Greek Revival style, such as the 6/6 double-hung sash windows arranged on a symmetrically balanced, five bay façade. The double-leaf front entry has an elaborate door surround, with rectangular side and transom lights and dentil motifs above. A simpler entry on the second story has square transom lights. The front façade is Flemish bond brick, and the other sides are common bond. The front windows have brick radiating voussoirs above. The windows on the left rear addition have arched radiating voussoirs. There are paired attic windows on the gable ends, as well as boxed cornice returns on the overhanging gables. The current front Neoclassical porch was added sometime after 1914. It is full-height and covers three bays. The simple, classically derived columns are square and tapering. There are two gable end interior fireplaces. The rear addition was built around 1869.

PROPOSAL DESCRIPTION

Install a 6 foot wood privacy fence in the rear yard with a lattice topper.(see exhibit C page 2)

ANALYSIS

Unified Development Ordinance (“UDO”) - The Unified Development Ordinance outlines design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines (“DG”) - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

DG: Sec. 30-72. District HP, design principles.

UDO Design Principles (Sec. 30-72.)	Staff Analysis
<p>11. UDO Design Principle: Fences and decorative walls should be placed and scaled in a manner that does not cover, block, or damage significant building facades or elements. Fences and walls should be of a style or period that corresponds with the style or period of the building or buildings they serve. Original fences, walls, and sidewalks and those that have acquired significance by virtue of age or craftsmanship should not be removed or destroyed and should be maintained and preserved.</p> <p>Page 36 of DG: "If not visible from the street, board or privacy fences may be considered for back yards when necessary to screen an objectionable view"</p> <p>and 37 of DG: "Horizontal boards, split rails and solid board or privacy fences are not appropriate for the front or side yards"</p>	<p>The privacy fence will be in the back yard and will not be highly visible from street.</p>

ADDITIONAL INFORMATION

STAFF RECOMMENDATION

The application meets the standards for review and guidelines; therefore staff recommends approval of HDRC case #22-001LA with the stipulation that the height does not exceed 6 ft tall, including the lattice topper.

ATTACHMENTS

- Exhibit A: Vicinity Map
- Exhibit B: Historic Survey & Landmark Nomination Form (4 pages)
- Exhibit C: Project description from the applicant and photos (2pages)
- Exhibit D: Site Plan





HDRC Case #22-002LA
758 W. Liberty Dr.



EXHIBIT A:
VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

1. NO. L-22	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) Ringo House, 758 W. Liberty Drive	1. NO.	
2. COUNTY Clay	5. OTHER NAME(S) White Horse Inn; the Pines; Hillcrest		2. COUNTY
3. LOCATION OF NEGATIVES Liberty Community Development			
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>51N</u> RANGE <u>31W</u> SECTION <u>7</u> IF CITY OR TOWN, STREET ADDRESS	16. THEMATIC CATEGORY Exploration & Settlement	28. NO. OF STORIES <u>2 1/2</u> 29. BASEMENT? YES () NO (X)	
7. CITY OR TOWN IF RURAL, VICINITY	17. DATE(S) OR PERIOD ca. 1843; 1869	30. FOUNDATION MATERIAL brick	
8. DESCRIPTION OF LOCATION	18. STYLE OR DESIGN Greek Revival	31. WALL CONSTRUCTION brick	
9. COORDINATES UTM LAT LONG	19. ARCHITECT OR ENGINEER	32. ROOF TYPE AND MATERIAL gable; composition shingle	
10. SITE () BUILDING (X) STRUCTURE () OBJECT ()	20. CONTRACTOR OR BUILDER	33. NO. OF BAYS FRONT 5 SIDE n/a	
11. ON NATIONAL REGISTER? YES () NO (X)	21. ORIGINAL USE, IF APPARENT residence	34. WALL TREATMENT brick	
12. IS IT ELIGIBLE? YES (X) NO ()	22. PRESENT USE residence	35. PLAN SHAPE "L"	
13. PART OF ESTAB. HIST. DISTRICT? YES () NO (X)	23. OWNERSHIP PUBLIC () PRIVATE (X)	36. CHANGES (EXPLAIN IN NO. 42) ADDITION (X) ALTERED () MOVED ()	
14. DISTRICT POTENTIAL? YES () NO (XX)	24. OWNER'S NAME AND ADDRESS IF KNOWN Mr. & Mrs. Charles Thompson P.O. Box 408	37. CONDITION INTERIOR <u>excellent</u> EXTERIOR <u>excellent</u>	
15. NAME OF ESTABLISHED DISTRICT	25. OPEN TO PUBLIC? YES () NO (X)	38. PRESERVATION UNDERWAY? YES (X) NO ()	
	26. LOCAL CONTACT PERSON OR ORGANIZATION Community Development Coordinator	39. ENDANGERED? BY WHAT? YES () NO ()	
	27. OTHER SURVEYS IN WHICH INCLUDED	40. VISIBLE FROM PUBLIC ROAD? YES (X) NO ()	
		41. DISTANCE FROM AND FRONTAGE ON ROAD	
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The house features a steeper pitched gable roof than most Greek Revival homes, with a center front gable. The original owner had a large family, and it is possible that the attic floor served as bedrooms from the beginning. The other features are more typical of the Greek Revival style, such as the 6/6 double-hung sash windows arranged on a symmetrically balanced, five bay facade. The double-leaf front entry has (over)	PHOTO MUST BE PROVIDED		
43. HISTORY AND SIGNIFICANCE The house is significant of a local resident's adaptation of the Greek Revival style to meet his personal needs, in this case enlarging the gable roof to enclose a third floor. The house was build around 1843 by Samuel Ringo's slaves from bricks fired on the site. Ringo was a member of the first board of trustees when Liberty was incorporated in 1829. Like many of Liberty's early pioneers, he came from Kentucky to settle in Clay County. He managed the 200 acre farm surrounding the house as well as a mercantile store in town. In 1869, Darwin Adkins bought the property. He helped establishe the Farmer's Bank (later the Commercial Savings), and became its president in 1870. In 1912, the owner was G.W. Clardy, and he divided most of the (over)			
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The large lot sits up a hill from the road, making the house barely visible. A driveway on the left leads to a rear, clapboard garage. A stone retaining wall in the front has the word "Hillcrest" carved into it.			
45. SOURCES OF INFORMATION Interview with owners. Liberty Sun, Vol. 17, #13.	46. PREPARED BY Deon Wolfenbarger	5. OTHER NAME(S)	
	47. ORGANIZATION Community Development		6. TOWNSHIP
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION P.O. BOX 176 JEFFERSON CITY, MISSOURI 65102 PH. 314-751-4096	48. DATE 8/87	49. REVISION DATE(S) EXHIBIT	
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM			

1. NO.

2. COUNTY

4. PRESENT LOCAL NAME(S) OR DESIGNATION(S)

5. OTHER NAME(S)

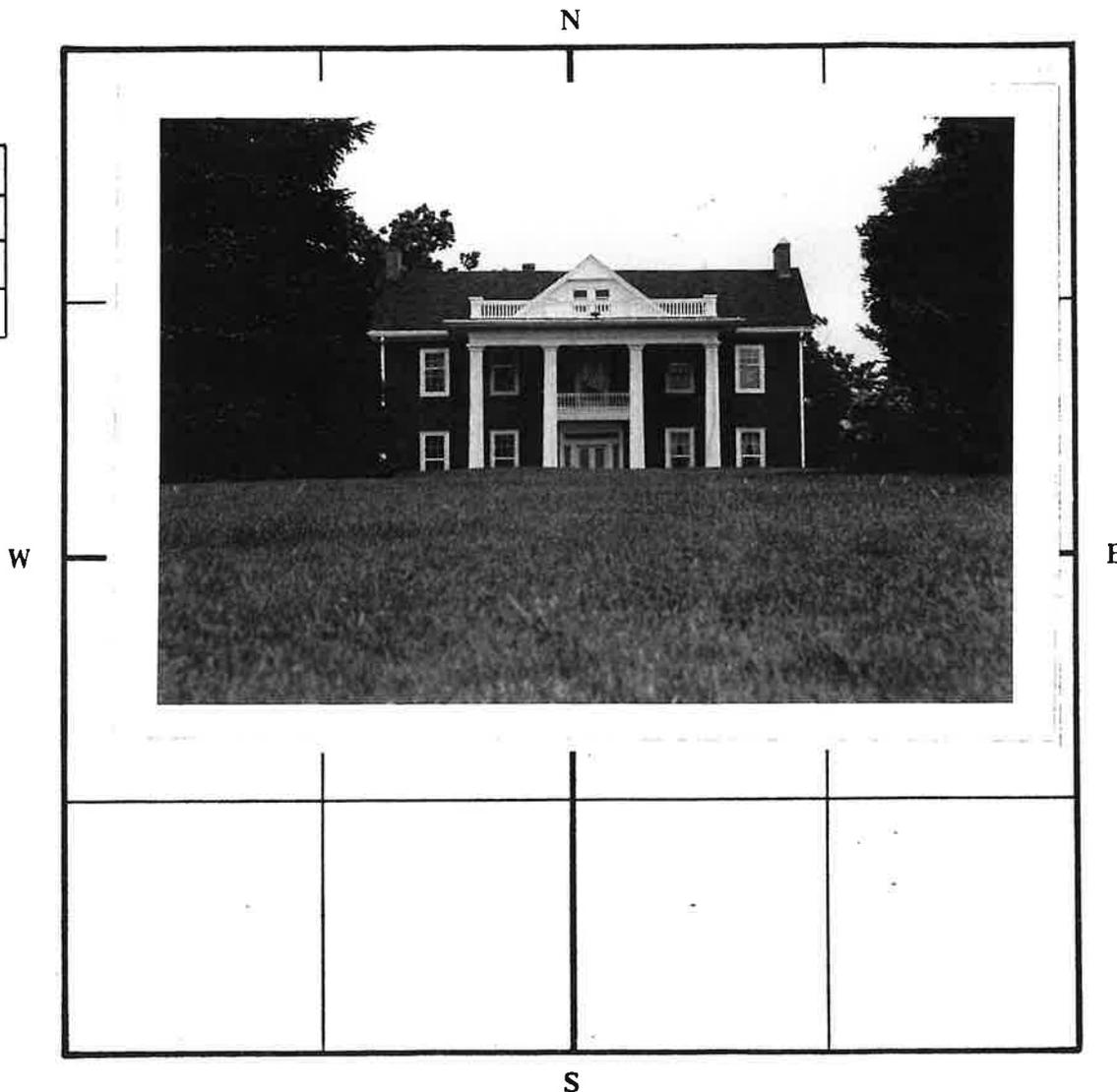
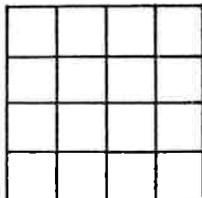
6. TOWNSHIP

RANGE

SECTION

Indicate the chief topographical features, such as streams and elevations. Also indicate houses and roads. Indicate the site location by enclosing the site area with dotted line. Note scale of map and portion of section included in sketch map. Include drawings, photographs, etc. on additional pages.

Indicate part of section included in sketch map.



Notes: 42. (cont.) and elaborate door surround, with rectangular side and transom lights and dentil motifs above. A simpler entry on the second story has square transom lights. The front facade is Flemish bond brick, and the other sides are common bond. The front windows have brick radiating voussoirs above. The windows on the left rear addition have arched radiating voussoirs. There are paired attic windows on the gable ends, as well as boxed cornice returns on the overhanging gables. The current front Neoclassical porch was added sometime after 1914. It is full-height and covers three bays. The simple, classically derived columns are square and tapering. There are two gable end interior fireplaces. The rear addition was built around 1869.

43. (cont.) estate into a subdivision known as "Clardy Heights". During the late 1920's or early 1930's, "Cat" Sandusky owned the house and made it a public house and restaurant - the "White Horse Tavern". The current owners bought the house in 1976 and have worked on its renovation.

THIS IS PROBABLY THE ONE MOST IMPORTANT PART OF THIS DATA FORM!

Please Attach a copy of a topographic map with the site marked on it.

Samuel Ringo House

(758 West Liberty Drive, The Pines, Hillcrest, White Horse Inn/Tavern)

The Samuel Ringo House is significant under Criterion 1 for its value as part of the development and heritage of rural Clay County. An early structure was built on the site around 1840 by Samuel Ringo. The front Greek Revival structure was built in the late 1850's, when several other large rural brick estate homes were built in Clay County. During the Prohibition era, Clay Countians knew the structure as the White Horse Tavern, and could go there for a meal and set-ups (the customers brought their own bottles). The name "White Horse" was after a popular liquor of the time.

758 W. Liberty Drive is significant in Criterion 3 for its association with Samuel Ringo, one of Clay County's first settlers. He was on the first Board of Trustees for Liberty when it was incorporated as a town by the county on May 4, 1829. Ringo was a pioneer merchant and grocer who was involved in many civic enterprises. As an example, in 1855 he bought the Liberty Female Institute, and was responsible for the education of 76 girls for five months until he sold it again.

The Ringo House meets Criterion 4 by embodying characteristics of the Greek Revival style. The features of this style present are: low pitched gable roof with overhanging eaves; cornice line of roof emphasized with band of trim; boxed gable returns; full height entry porch supported by prominent square Doric columns; front door surrounded by narrow sidelights and a rectangular line of transom lights above, incorporated into a more elaborate door surround. The simple, classical detailing represented the increased interest in this country with first Roman, then Grecian models of architecture. In the Samuel Ringo House, the large front gable portico makes a direct attempt to copy a traditional classical pediment.

As an established local landmark, the Ringo House meets Criterion 8. Its location on a ridge and its prominence in the area have made it a familiar visual feature over the years.

Past maintenance and restoration efforts have caused the Ringo House to maintain much of its original character, making it suitable for preservation efforts and qualifying it under Criterion 10. The structure retains a high degree of integrity in setting, location, design, materials and workmanship which reflects the ongoing preservation efforts of the owners.

HISTORIC LANDMARK NOMINATION FORM

(1) NAME OF LANDMARK (Common or Historic)

Samuel Ringo House

(2) ADDRESS

758 West Liberty Drive

(3) NAME AND ADDRESS OF OWNER

Mr. and Mrs. Charles Thompson, 758 West Liberty Drive, Liberty, MO 64068

(4) PRESENT USE(S) Residence

(5) ORIGINAL USE (if known) Residence

(6) PHYSICAL DESCRIPTION

a. DATE: Circa 1845 - 50

b. STYLE OR FORM: Greek Revival

c. CONSTRUCTION: Brick and native stone

d. SITE: Hilltop setting in residential area; 1/2 mile from Downtown Square

(7) HISTORICAL SIGNIFICANCE

a. Home of Samuel Ringo, a pioneer merchant and grocer involved in many civic enterprises

b. Ringo served on Liberty's first Board of Trustees in 1829.

c. Site of the famous White Horse Inn during the early 1900's.

d. _____

(8) PHOTOGRAPH



Name: Historic District Review Commission

Date: 9-4-87

Address: 101 E. Kansas, Liberty, MO 64068

Signature: [Handwritten Signature]

Fence Request 758 W Liberty 3.1.22

Tuesday, March 1, 2022 10:52 AM

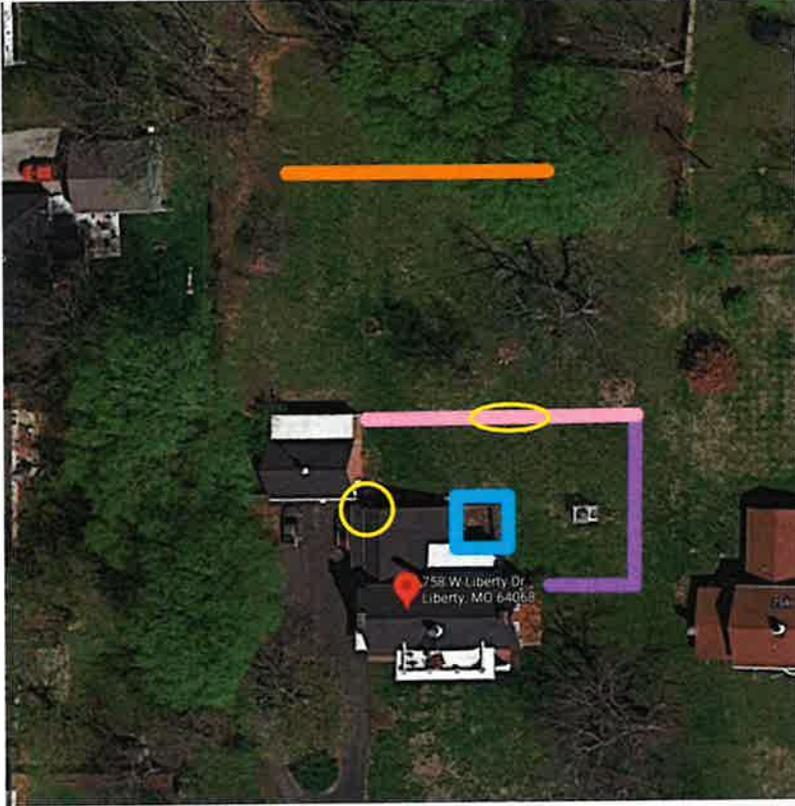
- I am requesting approval to fence in a portion of my backyard for my dogs, as well as privacy and some minor noise cancellation. The fence will be pressure treated wood rated for ground contact with a white 30 year paint/stain. 80 pounds of concrete will be used for each post hole and all screws will be coated.
- I would like to do a white privacy fence with lattice detail at the top on the two sections in purple in exhibit A.
 - One section is requested as it is the part nearest Liberty Drive, this is a high traffic road that causes the most noise pollution on my property. That fence section is 30 feet, starting on the back North East corner of the main house and will have minimal visibility from the road.
 - The second section connects to it and runs 60 feet parallel to the east property line. *The fence will be more than 10 feet from the property line itself though.* I am wanting to do a privacy fence here as it will block the view from the main room that will be utilized by renters for small events at the property (As approved by Special Permit from City). That room has an entire wall of windows looking directly into my neighbors house.
- The section in pink connecting the northeast corner of the fence to the back corner of the garage will be a 4 foot white picket fence running 100 feet with a double gate where the yellow marker is.
- There will also be a small section of white picket fence and a gate at the second yellow marker to provide full enclosure for the dogs.
- I have spoken with my neighbor at 734 W Liberty Dr. to make them aware of the fence and shared the layout and style.
- The blue marker will be for a small patio to be added but I will submit a separate request for that once I have confirmation of size and material.
- Exhibit B shows the two fence styles and how they will look where they meet.

Exhibit A:



Exhibit B:





The applicant wrote:

I am proposing the privacy fence along the purple lines, the primary purpose is noise cancellation from Liberty Dr. in the front. For the side it is for privacy as my neighbor and I both have rooms looking directly into one another on that side.

Historic District Review Commission

The City of



HDRC Case No. 22-004D

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: March 15, 2022

GENERAL INFORMATION

Application: Certificate of Appropriateness for removing one of two front doors
Applicant: Dr. Bennett Wyllie
Location: 331 W. Kansas St.
District: Dougherty Historic District
NRHP Status/category: Contributing
File Date: March 2, 2022

SPECIFIC INFORMATION

SITE HISTORY

Built in 1910 this very modest Craftsman bungalow nonetheless has a few distinguishing details, such as triangular brackets under the rake roof edge. The front shed-roof dormer has exposed rafter tails and paired windows. The set-in left front porch has a square, tapered porch column. The side gabled roof has wide, unenclosed eave overhangs.

PROPOSAL DESCRIPTION

The applicant is proposing to remove the east facing front door, leaving the north facing front door as the only front door to the home. Like in kind replacement of the siding to match the existing. The applicant would like some guidance on what siding would be best, he is suggesting SmartSiding with a wood grain finish.

ANALYSIS

Unified Development Ordinance ("UDO") - The Unified Development Ordinance outlines design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines ("DG") - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

DG: Sec. 30-72. District HP, design principles.	Staff Analysis
<p>7. <u>Doors and windows</u>: Original doors and windows shall not be replaced unless there is substantial evidence that they are no longer serviceable or cannot be restored. Restoration of original entryways that may have been covered, altered, or removed over time is encouraged. Replacement doors and windows that imitate an earlier inappropriate style are discouraged. In general, existing openings shall not be covered or relocated. If additional entryways or service doors become necessary, they shall be located and designed in a sensitive manner. If it is necessary to expand original openings, it shall be accomplished in a manner that respects and complements the surrounding building elements, materials, and colors.</p>	<p>There is not substantial evidence that the front door is no longer serviceable or cannot be restored.</p>

STAFF RECOMMENDATION

The application does not meet the standards for review and guidelines; therefore staff recommends denial of HDRC case #22-004D.

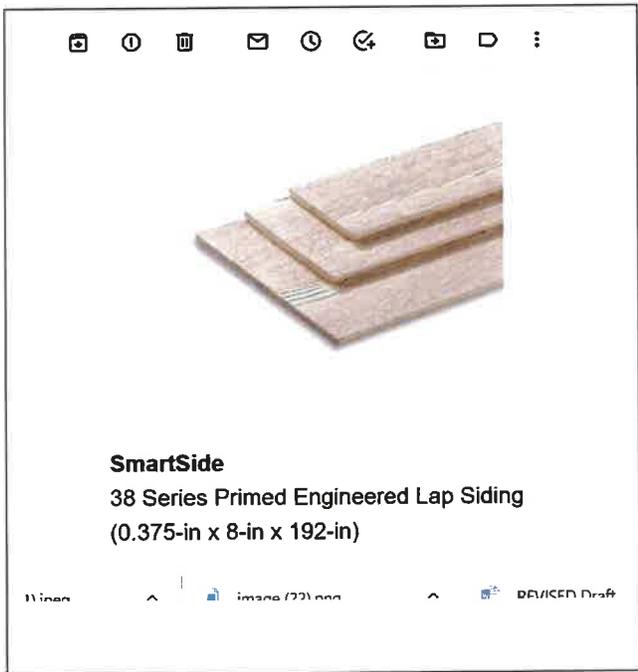
ATTACHMENTS

1. Exhibit A: Vicinity Map
2. Exhibit B: Inventory Data Sheet
3. Exhibit C: Photos of existing conditions & Proposed Siding (2 pages)





Comment from the Applicant regarding existing siding on the home: The visible width of the plank is 5" -- so my guess is that it's an 8" plank with 3" of overlap



Proposed Siding: SmartSide, smooth finish to match existing

Exhibit C:
Existing Siding &
Proposed Siding

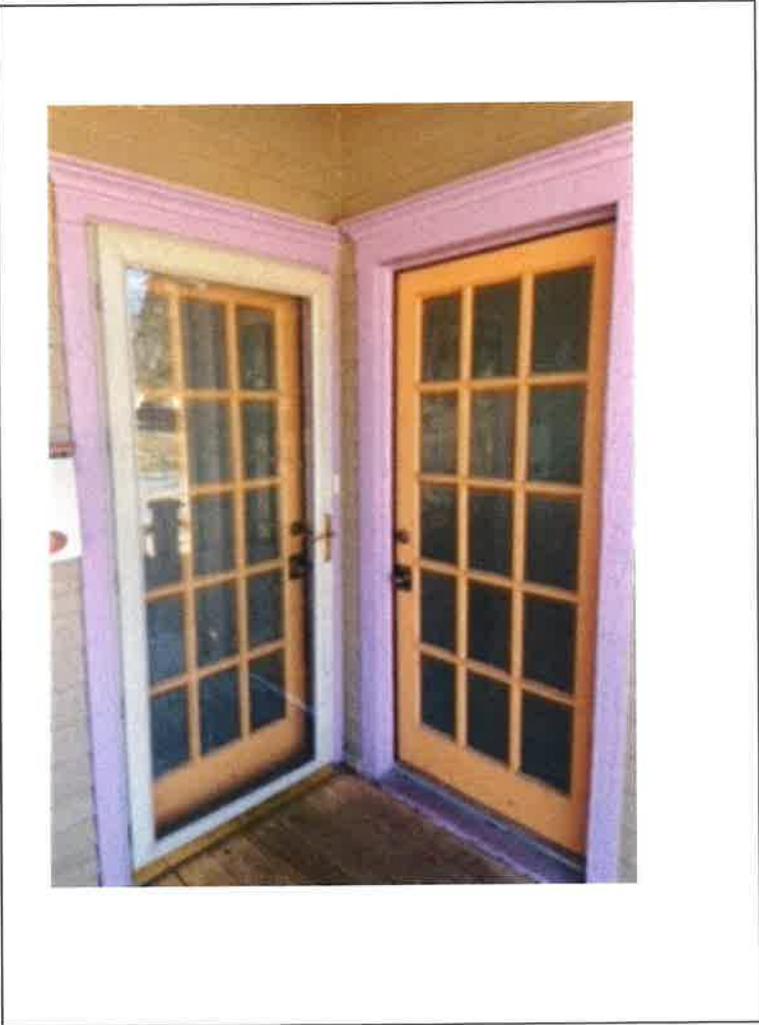
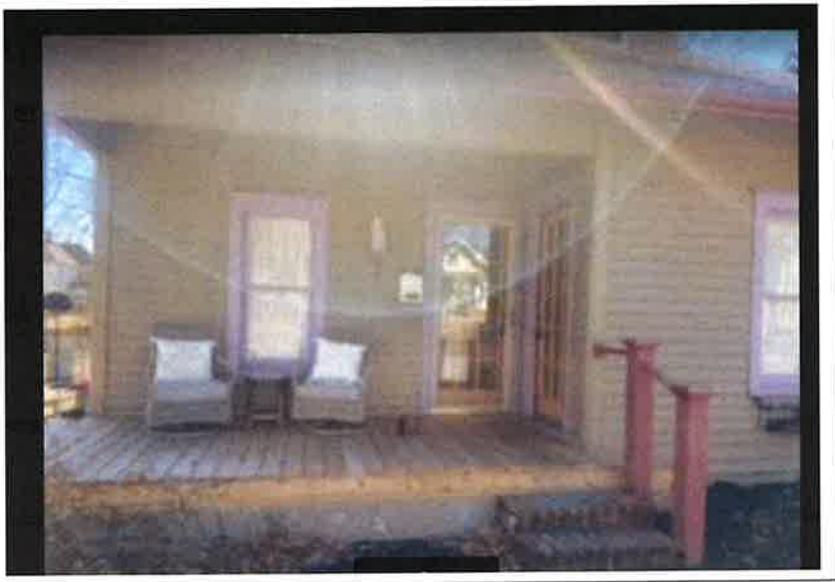


Exhibit C:
Existing Conditions



W KANSAS ST



HDRC Case #22-002D
331 W. Kansas

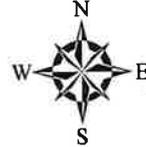
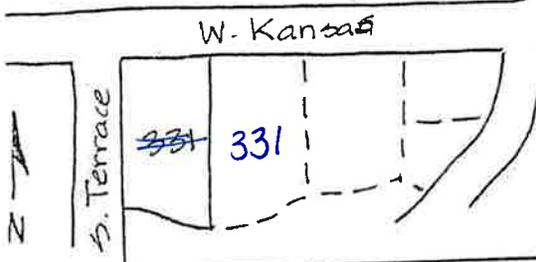


EXHIBIT A:
 VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

<p>1. NO. E-15</p> <p>2. NTY Clay</p> <p>3. LOCATION of Liberty Community Development NEGATIVES</p>	<p>4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 331 W. Kansas</p> <p>5. OTHER NAME(S)</p>	1. NO.
<p>6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>51N</u> RANGE <u>31W</u> SECTION <u>7</u> IF CITY OR TOWN, STREET ADDRESS 331 W. Kansas</p> <p>7. CITY OR TOWN IF RURAL, VICINITY Liberty</p> <p>8. DESCRIPTION OF LOCATION</p>	<p>16. THEMATIC CATEGORY</p> <p>17. DATE(S) OR PERIOD 1910</p> <p>18. STYLE OR DESIGN Vernacular Craftsman bungalow</p> <p>19. ARCHITECT OR ENGINEER</p> <p>20. CONTRACTOR OR BUILDER</p> <p>21. ORIGINAL USE, IF APPARENT residence</p> <p>22. PRESENT USE residence - rental</p> <p>23. OWNERSHIP PUBLIC () PRIVATE (X)</p> <p>24. OWNER'S NAME AND ADDRESS IF KNOWN</p>	2. COUNTY
<p>9. COORDINATES UTM LAT N121,250 LONG E521,050</p> <p>10. SITE () STRUCTURE () BUILDING (X) OBJECT ()</p> <p>11. NATIONAL YES () HISTORIC DISTRICT? NO (X)</p> <p>12. IS IT YES () ELIGIBLE? NO ()</p> <p>13. PART OF ESTAB. YES () HIST. DISTRICT? NO (X)</p> <p>14. DISTRICT YES (X) POTENTIAL? NO ()</p> <p>15. NAME OF ESTABLISHED DISTRICT</p>	<p>26. NO. OF STORIES 1</p> <p>29. BASEMENT? YES (X) NO ()</p> <p>30. FOUNDATION MATERIAL stone</p> <p>31. WALL CONSTRUCTION frame</p> <p>32. ROOF TYPE AND MATERIAL gable, composition shingle</p> <p>33. NO. OF BAYS FRONT 2 SIDE 2</p> <p>34. WALL TREATMENT clapboard</p> <p>35. PLAN SHAPESquare</p> <p>36. CHANGES ADDITION () (EXPLAIN IN ALTERED () NO. 42) MOVED ()</p> <p>37. CONDITION INTERIOR EXTERIOR fair</p> <p>38. PRESERVATION UNDERWAY? YES () NO (X)</p> <p>39. ENDANGERED? YES () BY WHAT? NO (X)</p> <p>40. VISIBLE FROM YES (X) PUBLIC ROAD? NO ()</p> <p>41. DISTANCE FROM AND FRONTAGE ON ROAD 100'</p>	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S)
<p>42. FURTHER DESCRIPTION OF IMPORTANT FEATURES This very modest Craftsman bungalow nonetheless has a few distinguishing details, such as trianlur brackets underthe rake roof edge. The front shed-roof dormer has exposed rafter tails and paired windows. The set-in left front porchhas a square, tapered porch column. The side gabled roof has wide, unenclosed eave overhangs.</p>	<p>PHOTO MUST BE PROVIDED</p>	5. OTHER NAME(S)
<p>43. HISTORY AND SIGNIFICANCE While being a very modest home, the bungalow represents a housing type available to the working class. As part of a section of vernacular historic homes on W. Kansas, it lends character to the neighborhood.</p>		6. TOWNSHIP
<p>44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The large, corner lot has a drive on the right side with a stone retaining wall. The rear property line is defined by a small creek.</p>		RANGE
<p>45. SOURCES OF INFORMATION City water permits</p>	<p>46. PREPARED BY Deon Wolfenbarger</p> <p>47. ORGANIZATION Community development</p> <p>48. DATE 1/87</p> <p>49. REVISION DATE(S)</p>	SECTION
<p>RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION P.O. BOX 176 JEFFERSON CITY, MISSOURI 65102 PH 314-751-4095</p>		



IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM

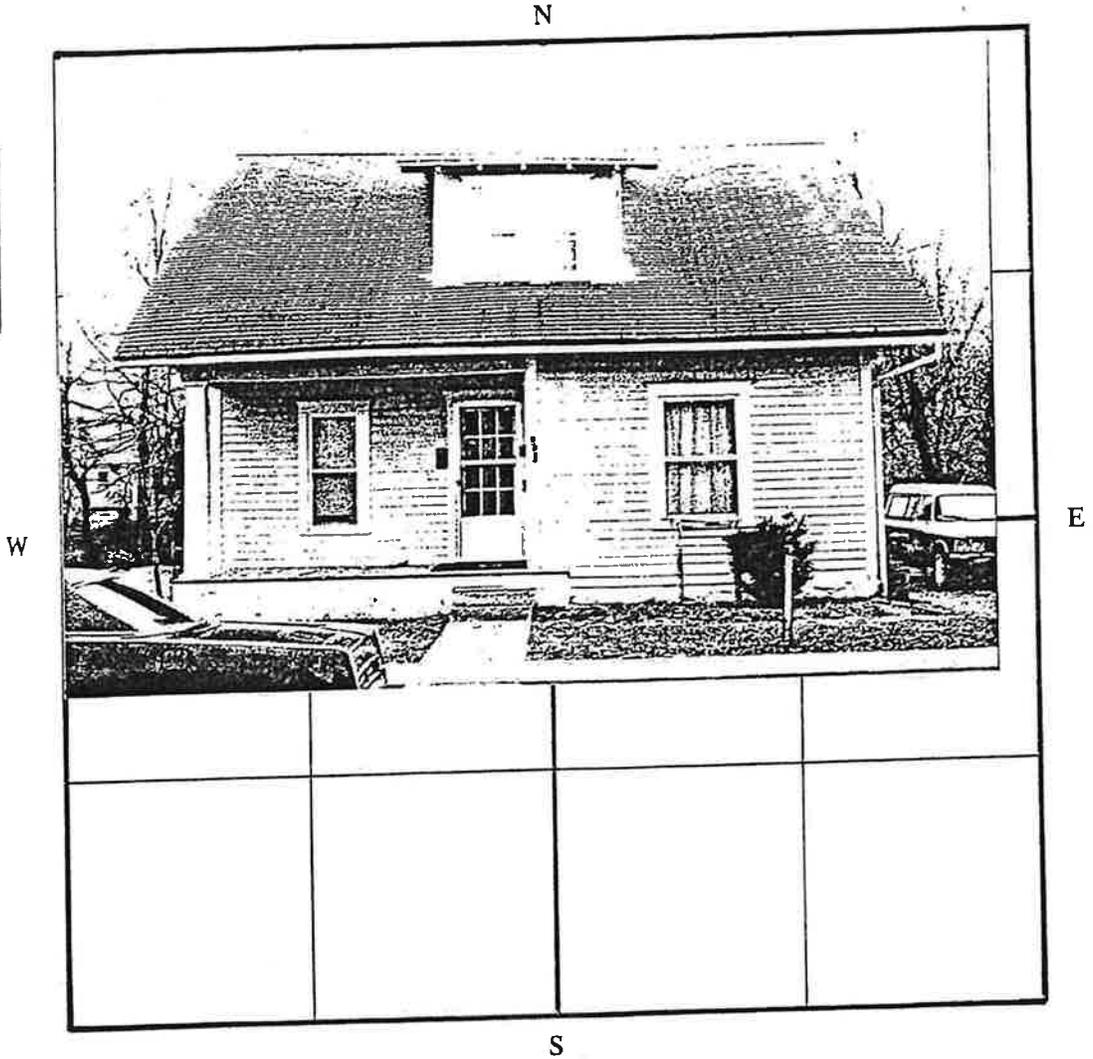
Sketch map of location

Site No. E-15

Section 7 Township 51N Range 31W

Indicate the chief topographical features, such as streams and elevations. Also indicate houses and roads. Indicate the site location by enclosing the site area with dotted line. Note scale of map and portion of section included in sketch map. Include drawings, photographs, etc. on additional pages.

Indicate part of section included in sketch map.



Notes:

THIS IS PROBABLY THE ONE MOST IMPORTANT PART OF THIS DATA FORM!

Please Attach a copy of a topographic map with the site marked on it.

