



**HISTORIC DISTRICT
REVIEW COMMISSION
Regular Meeting
Revised Packet:**

**November 2, 2021
5:30 pm
City Hall, Council Chambers**



HISTORIC DISTRICT REVIEW COMMISSION
REVISED Meeting Agenda
November 2, 2021
5:30 p.m.
City Hall, Council Chambers

Call to Order

- I. Roll Call
John Carr, Vern Drottz, Aimee Gray, Mike Gilmore, Matt Grundy, Dail Hobbs, Martha Reppert, Brett Rinker, Doug Wilson
- II. HDRC Case #21-021D Consideration of a Certificate of Appropriateness for an addition at 500 W. Franklin, Dougherty Historic District. A 353 Tax Abatement project.
- III. HDRC Case #21-022J Consideration of an After the Fact Certificate of Appropriateness for new windows at 239 N. Lightburne, Jewell Historic District.
- IV. Approval of Meeting Summary: October 22, 2021 HDRC Meeting Summary
- V. Other Business

Preservation Plan Implementation – Priorities

Administrative Approvals since the October 5, 2021 meeting:

- 430 E. Franklin Like in-kind repairs to porch and gutters HDRC Case #21-021J
- 327 Harrison Like in-kind storm windows HDRC Case 21-012PH

Miscellaneous matters from the Commission:

Miscellaneous matters from Staff:

- VI. Adjournment

LIBERTY HISTORIC DISTRICT REVIEW COMMISSION
Meeting Summary
October 5, 2021
Zoom Video Conference
4:00 p.m.

Present: John Carr, Aimee Gray, Martha Reppert, Brett Rinker, Doug Wilson

Absent: Vern Drottz, Dail Hobbs, Mike Gilmore, Matt Grundy

Applicant Present: Karen O'Dell

Staff Present: Jeanine Thill, Community Development Manager

Vice Chairman Carr called the meeting to order at 4:00 p.m.

HDRC Case #21-018J Consideration of a Certificate of Appropriateness for exterior alterations at 430 E. Franklin, Jewell Historic District, a 353 Tax Abatement project

- Commissioner Gray said it seems straightforward and meets the criteria.
- Vice Chairman Carr and Commissioner Reppert agreed.

A motion was made by Commissioner Rinker to approve the application because it meets the design guidelines and UDO. Motion seconded by Commissioner Reppert. The motion passed 6-0-0.

Approval of Meeting Summary: September 21, 2021 HDRC Meeting Summary

A motion was made by Commissioner Reppert to accept the September 21 Meeting Summary as presented. The motion was seconded by Commissioner Gray. The motion passed 6-0-0.

Other Business

Administrative Approvals since the September 21, 2021 meeting:

- 415 Wilson – Roof, HDRC Case #21-019J

Miscellaneous matters from the Commission:

- Aimee suggested that people stop by and meet the new executive director of HDLI, Danelle O'Connell.

Miscellaneous matters from Staff:

- None

The meeting adjourned at 4:11 pm.

Historic District Review Commission

The City of



HDRC Case No. 21-021D

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: November 2, 2021

GENERAL INFORMATION

Application: Certificate of Appropriateness for an addition. A 353 Project
Applicant: Jon and Jan Crouch
Location: 500 W. Franklin
District: Dougherty Historic District
NRHP Status/category: Contributing

SPECIFIC INFORMATION

SITE HISTORY

A very nice Craftsman Bungalow, with nearly all original features intact. Wide, overhanging roof eaves are open and have exposed rafters and triangular knee braces. The cross-gable entry porch has square columns resting on massive brick piers. All gable ends have board and batten wall treatment; the rest of the house has very narrow clapboards. There are multiple roof planes formed by the lowered rooflines of the square bays on both the left and right sides (the left bay is much larger). The right exterior fireplace is painted. A rear addition appears to be the only alteration.

PROPOSAL DESCRIPTION & DETAILS

The applicant proposes construction of an addition to the NE corner of the existing home, adding a sitting room, bath, bedroom and closets. Existing deck to remain on rear of home.

Roof: Composition roof to match existing.

Brackets: Wood Corbel Brackets to match existing

Trim: Trim board to match existing. James Hardie trim board 11.25" X 144" length, 3/4" thick

Siding: See page A6 for siding details. Vertical board and batten to match existing on the West elevation gable. James Hardie Select Cedarmill lap siding to match existing. Cement board reveal 3" to match existing. The smallest size James Hardie provides is a 4" reveal. Siding will be painted to match existing. Scalloped edge corner trim will not be on the addition. This style doesn't exist anymore, according to the architect. Mitered corners only.

Windows: See page A3 for elevations and window sizes and see page A5 for images and details.

The windows will be full divided, grills to match the existing as a custom option. (Below, under "additional information" there is a product guide PDF at the bottom of the web pages you can click to download for more information of each window type.

The divided lights are prairie style for the transoms on the south side of the addition to match the front existing. All the others are going to have top sash only with grills to match existing. The south elevation windows will be one window unit, to match the existing on the original home, with exact dimensions to match. The applicant has provided double hung and picture window options on page A5; Aluminum wood clad by Andersen E-Series or all wood Marvin Signature.

Foundation: New concrete crawlspace foundation with brick veneer to match existing.

ANALYSIS

Unified Development Ordinance (“UDO”) - The Unified Development Ordinance outlines design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines (“DG”) - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

30-50.3 UDO Design Principles:	Staff Analysis
<i>1. New construction shall maintain the visual style and character of the surrounding neighborhood; and 2. New construction and additions shall complement the setbacks, building scale, parking, building, and garage orientation of the neighborhood.</i>	The new addition will maintain the style of the house and will complement the scale, materials, roof pitch and design of the main structure.
30-72. District HP, Design Principles	
<i>1. New Construction: New buildings should not duplicate older styles of architecture, but must be compatible with the architecture of the district. Scale, placement on lots, and street setback must conform to the scale, placement and setback of adjacent structures, especially in the context of rows of buildings and streetscapes. Styles of architecture will be controlled only to ensure that their design, materials and colors are in harmony with neighboring structures.</i>	The addition meets the UDO’s size and setback requirements.

PREVIOUS CASES / ADDITIONAL INFORMATION

Picture windows- <https://www.andersenwindows.com/windows-and-doors/windows/picture-windows/e-series-picture-window/>

Double Hung windows- <https://www.andersenwindows.com/windows-and-doors/windows/single-hung-and-double-hung-windows/e-series-double-hung-window/>

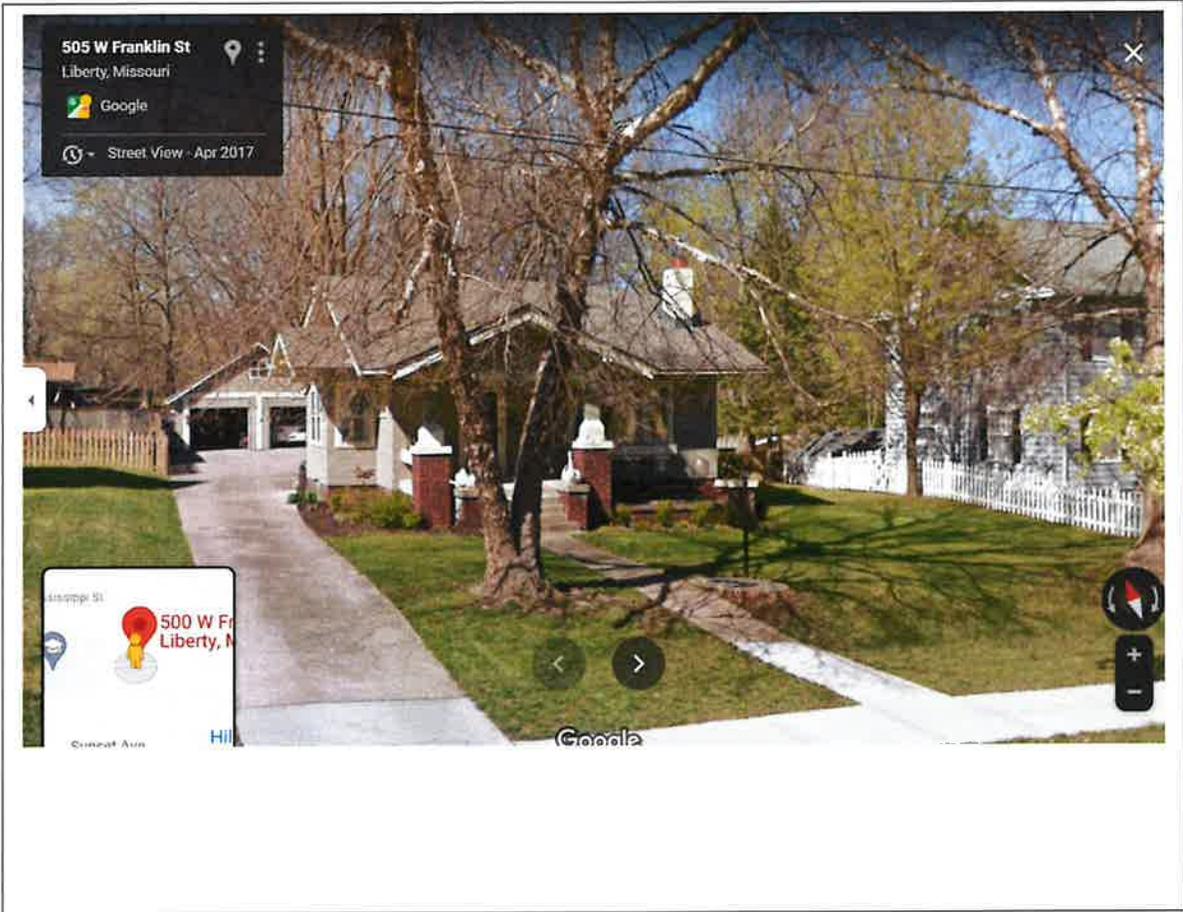
STAFF RECOMMENDATION

The application meets the standards for review and the historic district design guidelines; therefore staff recommends approval of HDRC case #21-021D.

ATTACHMENTS

1. Exhibit A: Vicinity Map
2. Exhibit B: Inventory Data Sheet
3. Exhibit C: Drawings (8 pages)

500 W. Franklin Street





HDRC Case #21-021D
500 W. Franklin

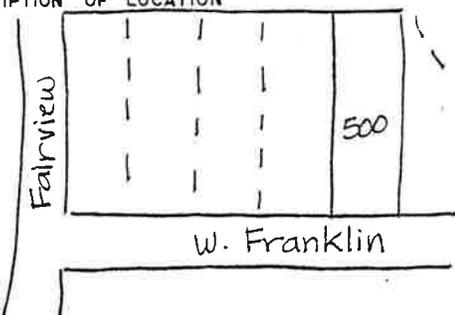


EXHIBIT A:
VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

1. NO. B-30	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 500 W. Franklin
2. CITY Clay	5. OTHER NAME(S)
3. LOCATION OF Liberty Community Development NEGATIVES	

5. SPECIFIC LEGAL LOCATION TOWNSHIP <u>51N</u> RANGE <u>31W</u> SECTION <u>7</u> IF CITY OR TOWN, STREET ADDRESS 500 W. Franklin	16. THEMATIC CATEGORY	28. NO. OF STORIES <u>1</u>
6. CITY OR TOWN IF RURAL, VICINITY Liberty	17. DATE(S) OR PERIOD ca. 1910	29. BASEMENT? YES (X) NO ()
3. DESCRIPTION OF LOCATION 	18. STYLE OR DESIGN Craftsman Bungalow	30. FOUNDATION MATERIAL brick
	19. ARCHITECT OR ENGINEER	31. WALL CONSTRUCTION frame
	20. CONTRACTOR OR BUILDER	32. ROOF TYPE AND MATERIAL gable; composition shingle
	21. ORIGINAL USE, IF APPARENT residence	33. NO. OF BAYS FRONT <u>3</u> SIDE <u>3</u>
	22. PRESENT USE residence	34. WALL TREATMENT board & clapboard, batten
	23. OWNERSHIP PUBLIC () PRIVATE (X)	35. PLAN SHAPE square
	24. OWNER'S NAME AND ADDRESS IF KNOWN Eleanor B. Hurst	36. CHANGES (EXPLAIN IN NO. 42) ADDITION (X) ALTERED () MOVED ()
	25. OPEN TO PUBLIC? YES () NO (X)	37. CONDITION INTERIOR _____ EXTERIOR <u>excellent</u>
	26. LOCAL CONTACT PERSON OR ORGANIZATION Jared Cooper, City Hall	38. PRESERVATION UNDERWAY? YES (X) NO ()
	27. OTHER SURVEYS IN WHICH INCLUDED	39. ENDANGERED? BY WHAT? YES () NO (X)
3. COORDINATES UTM LAT N121,500 LONG E520,650	40. VISIBLE FROM PUBLIC ROAD? YES (X) NO ()	41. DISTANCE FROM AND FRONTAGE ON ROAD 70'
0. SITE () STRUCTURE () BUILDING (X) OBJECT ()	PHOTO MUST BE PROVIDED	
1. NATIONAL HIST. DISTRICT? YES () NO (X)	12. IS IT ELIGIBLE? YES () NO (X)	13. HISTORY AND SIGNIFICANCE This house is significant as a pristine example of a Craftsman Bungalow. Most of the bungalows in the area are on West Kansas; this is one of only a few one-story residences on West Franklin, yet it lends definite character to the historic neighborhood.
3. PART OF ESTAB. HIST. DISTRICT? YES () NO (X)	14. DISTRICT POTENTIAL? YES (X) NO ()	14. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The lot is large and has no trees except for a small spruce in the front yard. The concrete drive on the left stops at the house, but there is a garage/barn at the left rear of the lot. The back yard has a chain link fence.
5. NAME OF ESTABLISHED DISTRICT	15. SOURCES OF INFORMATION City water permits	46. PREPARED BY Deon Wolfenbarger
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION P.O. BOX 176 JEFFERSON CITY, MISSOURI 65102		47. ORGANIZATION Community Development
IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM		48. DATE 12/86

1. NO. COUNTY PRESENT LOCAL NAME(S) OR DESIGNATION(S) 5. OTHER NAME(S) 6. TOWNSHIP RANGE SECTION

EXHIBIT 8

Sketch map of location

Site No. _____

Section 7

Township 51N

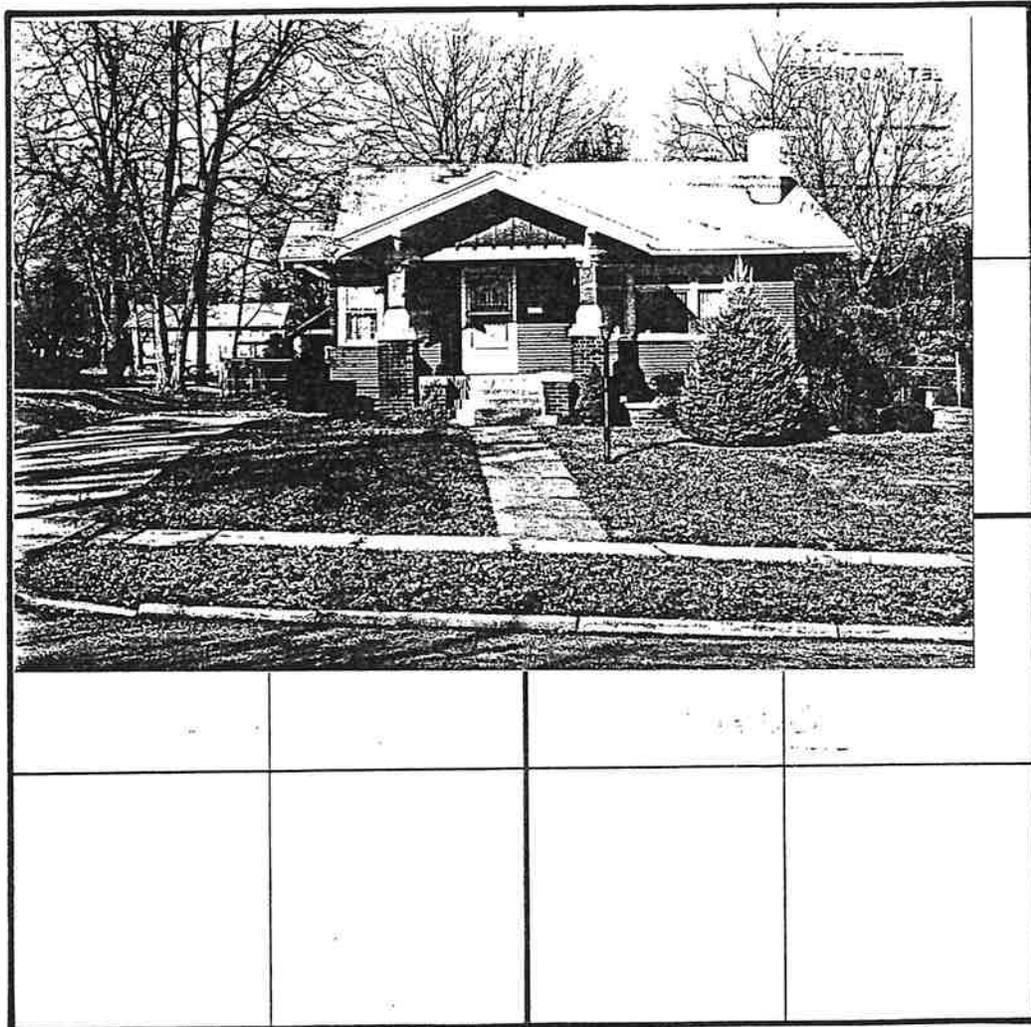
Range 31W

Indicate the chief topographical features, such as streams and elevations. Also indicate houses and roads. Indicate the site location by enclosing the site area with dotted line. Note scale of map and portion of section included in sketch map. Include drawings, photographs, etc. on additional pages.

N

Indicate part of section included in sketch map.

W



E

S

Notes: 42. (cont.) on both the left and right sides (the left bay is much larger). The right exterior fireplace is painted. A rear addition appears to be the only alteration.

THIS IS PROBABLY THE ONE MOST IMPORTANT PART OF THIS DATA FORM!

Please Attach a copy of a topographic map with the site marked on it.



Architects
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www.o3garchitects.com
Missouri Certificate of Authority
#101000793

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GENERAL NOTES
1. It is the responsibility of the builder to construct this plan in compliance with all applicable building codes and requirements of the local, state and federal governing authorities. The following notes are a partial list of requirements/instructions that are to supplement these "general conditions of the contract for construction". Where one is more restrictive, it shall take precedence.
2. The contractor shall be responsible for applicable laws, permits, regulations, zoning and/or fees unless specifically noted otherwise.
3. Do not scale drawings. Follow the written dimensions.
4. If you have a question or discover conflicting information, please get clarification from the architect prior to completing the work.

GENERAL CONDITIONS
1. INSULATION: Insulation values shall comply with the insulation chart below.
INSULATION VALUES
Attics R-49
Walls R-13
Floors R-19
Basement R-10/13
Slab R-10, 2"
Windows U .32

Where rigid insulation is required at the exterior face of exterior walls, the insulation shall be applied in a continuous, unbroken layer. Flashing/termite shields set in continuous bed of sealant. Place shield under sill plate and over rigid insulation to point below grade.
2. EXTERIOR WALLS: Entire exterior of house to receive Tyvek, or equal, building wrap, over exterior plywood sheathing, prior to application of siding and trim materials.
3. EXTERIOR WALLS: This structure shall be constructed of sheathed and nailed according to IRC Section R602.2.0-602.12.
4. WINDOWS: Window flashing and installation manual from manufacturer shall be on site.
5. WINDOW SILLS: In dwelling units, where the opening of an operable window is located more than 72" above finished grade or surface below, the lowest part of the sill of the room in which the window is located. Glazing between the ledge and sill shall be fixed or have openings through which a 4" diameter sphere cannot pass.
6. EGRESS: A minimum of one emergency escape and rescue window shall be provided in each bedroom and one from the basement. All emergency escape windows shall be 20" high, 20" wide, 20" clear opening, and shall be 20" clear opening of 5.7 sq. ft. Water resistant window wells as required.
7. LIGHT AND VENTILATION: Habitable rooms shall have an aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be provided opening to the exterior air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. The operable area to the outdoors shall be not less than 4 percent of the floor area being ventilated.
8. GLASS: Glazing in the following locations shall be of approved safety glazing materials: storm doors, panels within 24" of the edge in a closed position and where bottom edge is within 60" of the floor walls enclosing stairways and landings where the glass is placed 60" of the top or bottom of the stair, enclosures for space, tub, showers, and glass exceeding 36" and whose bottom edge is less than 18" A.F., or walking surface within 36".
9. DECK: Deck cannot encroach within the required foundation must extend 36" below grade and bear on undisturbed soil. Guards must be not less than 36" above the deck. Where the ledger is attached directly to the house, care is required to provide an attachment method that will not cause deterioration of the exterior finish materials. Flashing should be added to extend a minimum of 1-1/2" under the finish material and over the ledger.

10. STAIRS: Stairways shall have treads and risers per the plans, where not shown provide a maximum 7/32" rise and a minimum 10" run. Maximum slope on a tread shall be 1/8" or 2% horizontal. No run in any run shall exceed 11 feet. Riser height shall be uniform and graspable handrail shall be provided on all stairways of four or more risers.
11. GUARDRAILS: Provide minimum 36" guardrails on the open side of raised floors, porches and balconies; minimum 34", maximum 38", guardrails on the open side of stairways located more than 30" above the floor or grade below. Guardrails shall be installed on all open sides of balconies and porches that do not allow passage of a sphere 4" in diameter. Guards are required on all open sides of stairs and shall not be less than 34" above the nosing of treads.
12. HANDRAILS: Handrails shall have a circular cross section of 1-1/4" minimum to a 2-5/8" maximum or other approved graspable shape per IRC section R511.7.8, and shall project a minimum 12" on either side of the wall. One handrail shall be provided for a section any direction of 4", through which a 4" diameter sphere cannot pass.
13. SUMP: The sump pit shall be equipped with a pump and receptacle in unfinished portions of the basement, where applicable shall have GFI protection.
14. WATER HEATER: Provide means of controlling pressure caused by the thermal expansion of water. Water pressure limiting device is required on bathtubs and jacuzzis limiting the temperature to 120°F.
15. FURNACE: Shall have 18" clearance on control side, and 12" clearance on all other sides.
16. GARAGE SLOPE: Garage floors shall slope 2% minimum to the garage door(s); an open trench, or an untrapped drain, shall not be used for drainage.
17. STAIRS/GUARDS: All stairs shall be 36" wide and shall be 36" high. Stairs shall be 36" wide and shall be 36" high. Stairs shall be 36" wide and shall be 36" high.
18. PLUMBING FIXTURES: All plumbing fixtures with a flood level below the elevation of the next upstream public sewer manhole cover shall be protected with an approved backwater valve including drainage discharge. Basement floor connections shall have an anti-siphon device. All traps to pumps shall be 1 1/2" diameter. All traps shall be 1 1/2" diameter. All traps shall be 1 1/2" diameter.
19. ELECTRICAL FIXTURES: All electrical work to be provided by a licensed contractor and be in accordance with the adopted building code of the local jurisdiction. All electrical fixtures in damp and wet locations shall be listed as suitable for that location. Receptacle outlets shall be spaced 6' maximum (measured horizontally along floor line) and in any wall space 2' wide or more. All receptacle outlets shall be 18" above finished grade. All receptacle outlets shall be 18" above finished grade. All receptacle outlets shall be 18" above finished grade.
20. BATHROOM RECEPTACLES: Shall be supplied by minimum of one 20 amp branch circuit, supplying no other outlets. Provide separate 20 amp branch circuit for laundry. Provide minimum of two 20 amp small appliance branch circuits for the kitchen/dining/brkfst. counter receptacles, in bathrooms, at all outdoor receptacles, and those within 6' of sinks. Spa areas: GFCI within 10' and 5' of receptacle or switch within 5' of receptacles within 36" of a bathroom or powder laundry must also be GFCI protected. Plug-in-plane covers are also required.

21. SMOKE DETECTORS: Provide smoke alarms in each sleeping room, outside of each sleeping area, and on each floor at the primary entrance to the dwelling. This shall include the basement. The location of the alarm shall be at the location of the alarm.
22. CARBON MONOXIDE DETECTORS: Carbon monoxide detectors shall be provided in each sleeping area in dwelling units with fuel-fired appliances and/or attached garages. Use sections R534 and R535 of the IRC.
23. FINISH GRADE: The grade shall slope away from the foundation a minimum of 6" per foot for 10 feet. The foundation shall be finished with a minimum of 1/4" per foot. The foundation shall be finished with a minimum of 1/4" per foot.
24. DECAY PROTECTION: Provide decay resistant materials in all areas described in the 2018 IRC.

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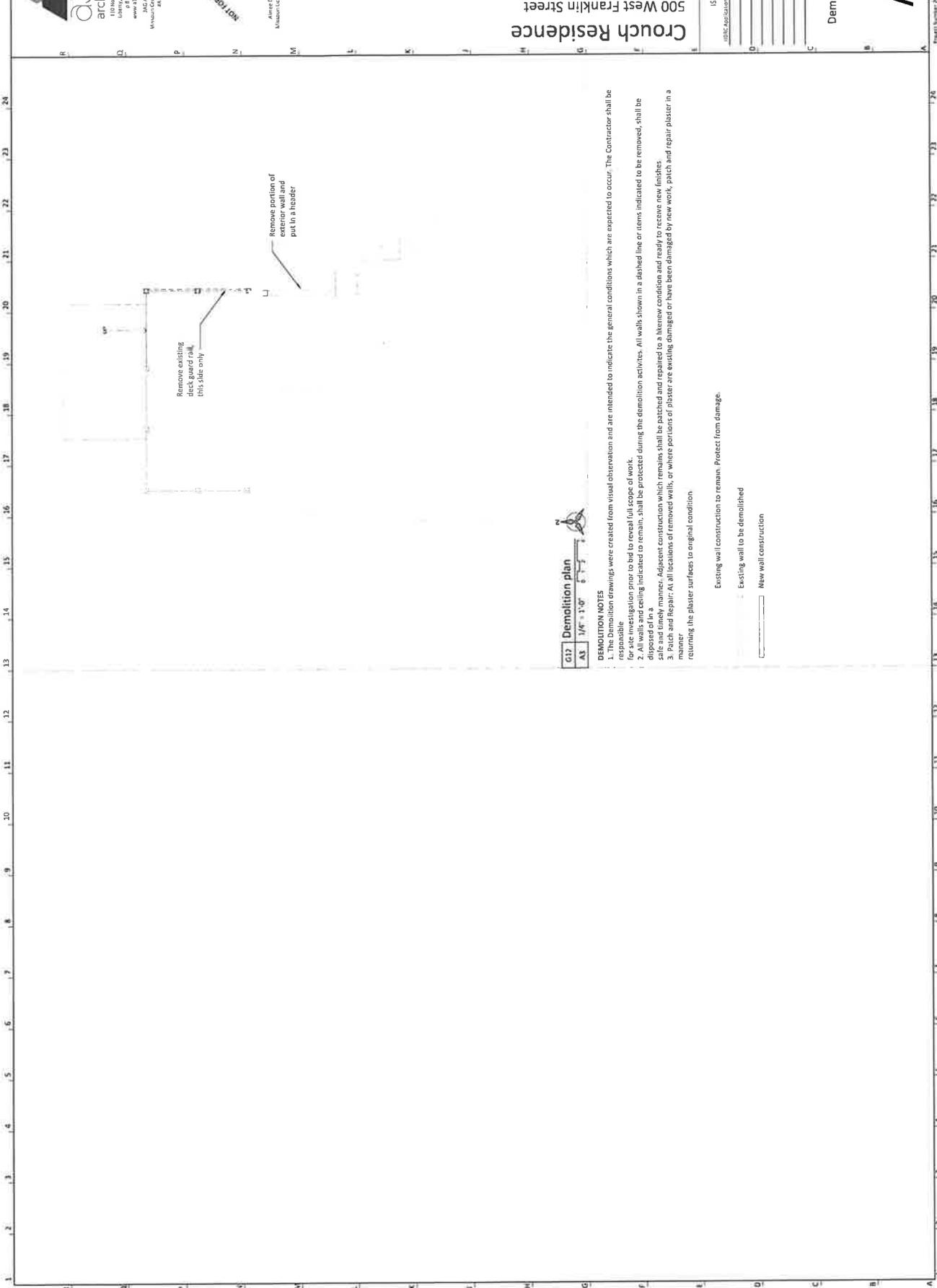
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22. EXHAUST AIR: All exhaust fans shall exhaust directly to the building exterior.
23. ATTIC VENTILATION: The net free ventilation area shall be not less than 1/150 of the area of the space being ventilated. The net ventilation area may be reduced to 1/300 if the attic is conditioned. The net free ventilation area shall be provided by a combination of gable, ridge, and soffit vents. Soffit vents shall be located in the upper portion of the space to be ventilated. At least 3" above eaves or common vents. Rafter spaces enclosed by ceiling directly applied to underside of rafters shall be sized to allow a minimum of 1" clear vent area above the insulation. Attics with a maximum vertical clear height of less than 30" are not required to have access to the exterior. Attics with a maximum vertical clear height of 30" or more shall be provided for a common system make up air required.
24. ATTIC ACCESS: Provide attic access to any attic space over 30sq. ft. Minimum access size is 22" x 30".
25. MAKE UP AIR: MAKE UP AIR COMBINATION AIR SHALL BE PROVIDED FROM OUTSIDE AS REQUIRED FOR KITCHEN EXHAUST OVER 400 cfm, furnace or water heater thru roof or outside wall.
26. GAS SOURCES: Equipment and appliances shall have a ignition source that are located in the garage or garage closet shall be elevated such that the source of ignition is not less than 18" above the floor, or listed as flameable vapor resistant and for installation without elevation.
27. DRYWALL: All the vertical gypsum board/drywall shall be 1/2" thick unless noted otherwise. Gypsum board shall be 5/8" thick unless noted otherwise. Gypsum board on ceiling, beam, column and on common walls with living space.
28. MANUFACTURED BATHING: Use cement board (installed per manufacturer's instructions) for all wet areas. Finish to extend 72" above drain.
29. FLOORING: All flooring shall be installed on a subfloor. Floor joists shall be located per code, with the bottom of joist not less than 12" above finished grade. Dryer shall have 4" diameter exhaust duct to exterior, with a maximum length of 25 feet. All duct systems shall be air tight.
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G12 Demolition plan
 AS 1/4" = 1'-0"

DEMOLITION NOTES

1. The Demolition drawings were created from visual observation and are intended to indicate the general conditions which are expected to occur. The Contractor shall be responsible for the investigation prior to bid to reveal full scope of work. Existing conditions indicated to remain, shall be protected during the demolition activities. All walls shown in a dashed line or items indicated to be removed, shall be disposed of in a safe and timely manner. Adjacent construction which remains shall be patched and repaired to a like-new condition and ready to receive new finishes.
2. Patch and Repair: At all locations of removed walls, or where portions of plaster are existing damaged or have been damaged by new work, patch and repair plaster in a manner returning the plaster surfaces to original condition.

- Existing wall construction to remain. Protect from damage.
- Existing wall to be demolished
- New wall construction

ISSUED FOR:
 14 October 2011

Demolition Plan

A1

Crouch Residence
 500 West Frarkin Street
 Liberty, MO, 64068

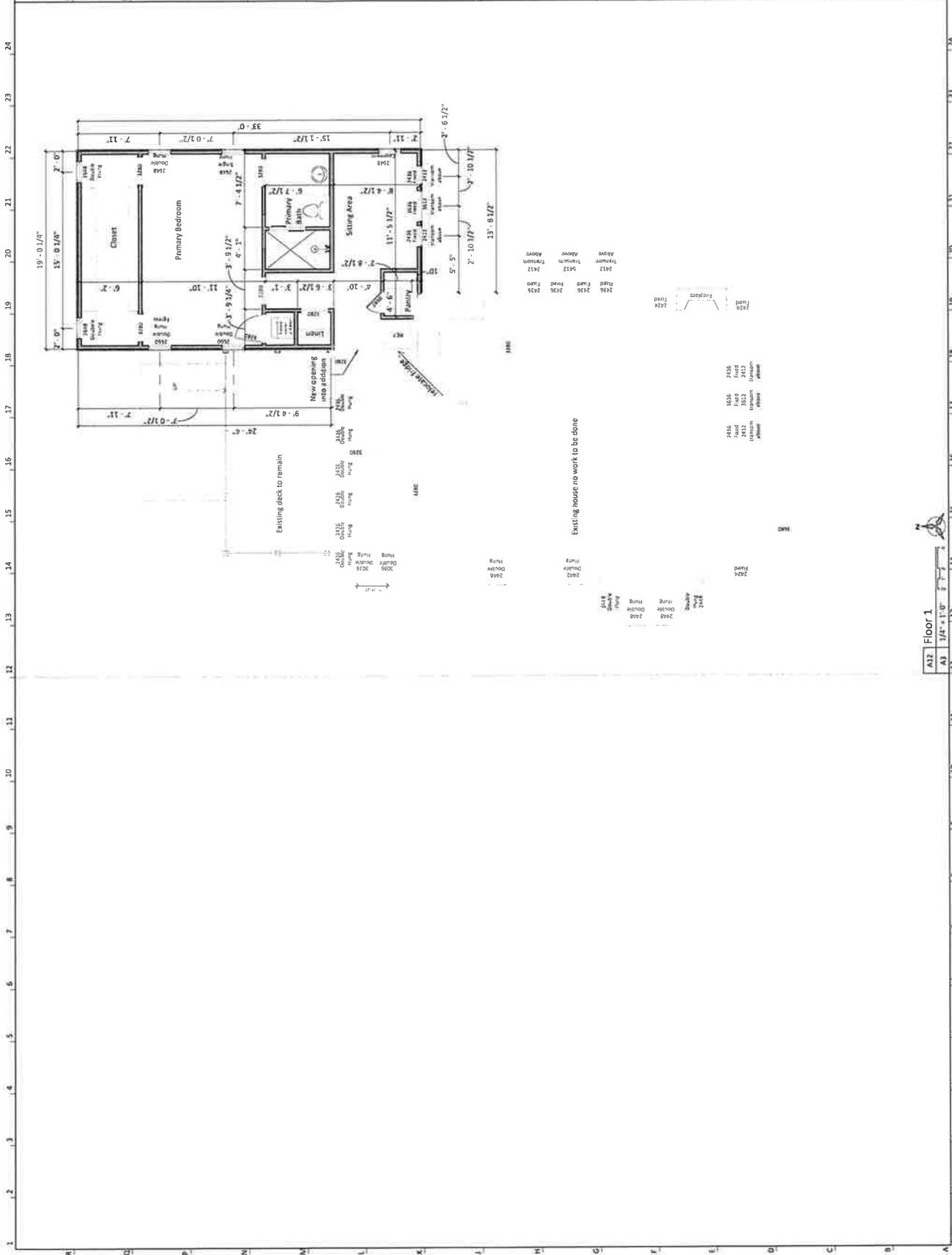
Jon and Jan Crouch
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 816 639 3316



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 www.a3garchitects.com
 MICHIGAN CERTIFICATE OF AUTHORITY
 #010000783

Albert D. Gray - ARCHITECT
 Missouri License # A-100151994

NOT FOR CONSTRUCTION

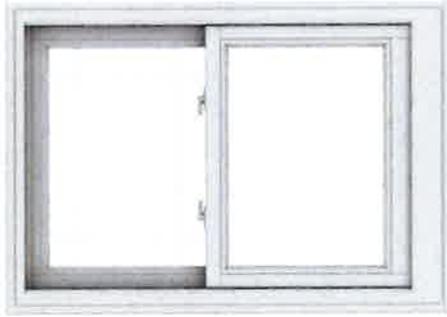


Floor 1

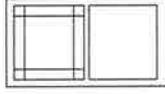
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Windows (option 1)

- Double Hung Window
- E-Series double-hung windows have two operating sash that move up and down allowing for ventilation on the top, bottom or both. The sash tilt in for easy cleaning from the inside of your home. Made of wood protected by an aluminum exterior, it's our fully customizable double-hung window.
- Custom colors, interior woods and stains
- Wood protected by aluminum exterior
- Standard sizes up to 4' wide and 7'6" high. Custom sizes available.
- <https://www.andersenwindows.com/windows-and-doors/windows/single-hung-and-double-hung-windows/e-series-double-hung-window/>



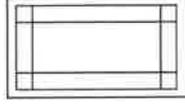
- Picture window
- E-Series picture windows are stationary, non-opening windows that allow light into the room. Made from wood with an aluminum exterior.
- Custom colors, interior woods and stains
- Wood protected by aluminum exterior
- Standard sizes up to 6' wide and 6' high. Custom sizes available.
- <https://www.andersenwindows.com/windows-and-doors/windows/picture-windows/e-series-picture-window/#colors>



<https://www.marvin.com/products/collections/signature/ultimate/picture>

Windows (option 2)

- Double hung customization available to match existing mullions
- The all-wood Marvin Signature® Ultimate Wood Double Hung window is a classic style ideal for historic projects where a wood exterior is needed to match original architectural details. Flexible design options like wood species and stains coupled with single hung or stationary sash configurations assist with historical accuracy, while wash mode makes cleaning easy.
- Available in heights up to 8 feet or widths up to 4 feet
- Multiple design options and woods available to match historical aesthetics and design requirements
- Also available as a round top, single hung, stationary transom or picture window
- Unique wash mode allows cleaning of both sides of glass from indoors



<https://www.marvin.com/products/collections/signature/ultimate/wood-double-hung>

Windows (option 2)

- Picture window customization available to match existing mullions
- The Marvin Signature® Ultimate Picture window offers a classic style in a non-operable window, bringing natural light into a room or highlighting an unobstructed outdoor view. Durable and energy-efficient, it can be sized to match accompanying double-hung, single-hung or casement windows. Our aluminum-clad exterior provides durability and flexible finish options, or an all-wood option is ideal for historic renovation projects where a wood exterior is needed to match original architectural details.
- Available in a large range of size options
- Uninterrupted expanses of glass frame views where operable windows aren't necessary
- Suits new construction, remodeling, or full-frame replacement



Existing siding on house



Mitered corner example

Siding

- James Hardie 12" x 144" Hardie Plank Select
- Cedar mill lap siding.
- Cement board reveal to match existing 3".
- Smallest size James Hardie provides is a 4" reveal.
- Painted to match existing.
- Scalloped edge corner trim not on addition. This style doesn't exist anymore. Mitered corners only.



Siding:

- James Hardie 48" x 120" HardiePlank
- Select Cedar mill panel vertical siding
- Board and Batten



Trim Board

- James Hardie trim board
- 11.25" x 144" board length
- 3/4" thick



- Wood corbel brackets to match existing

Historic District Review Commission

The City of



HDRC Case No. 21-022J

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: November 2, 2021

GENERAL INFORMATION

Application: After the Fact Certificate of Appropriateness for new vinyl windows

Applicant: Sam Lodhi

Location: 239 N. Lightburne

District: Jewell Historic District

NRHP Status/category: Contributing

File Date: October 21, 2021

SPECIFIC INFORMATION

SITE HISTORY

A variation of the gable front-and-wing house, this home has a new addition at its south east end. Open porch placed within the L of the two wings and supported by wooden posts. Window box, west façade, also non- original. Brick chimney, offset right. Built in 1912. Style: Folk House: Gable-Front & Wing.

PROPOSAL DESCRIPTION

New vinyl windows were installed without a Certificate of Appropriateness. The property owner said the windows that were removed were not original to the home.

ANALYSIS

Unified Development Ordinance (“UDO”) - The Unified Development Ordinance outlines design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines (“DG”) - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

DG: Sec. 30-72. District HP, design principles.	Staff Analysis
7. <u>Doors and windows</u> : Original doors and windows shall not be replaced unless there is substantial evidence that they are no longer serviceable or cannot be restored. Restoration of original entryways that may have been covered, altered, or removed over time is encouraged. Replacement doors and windows that	The design guidelines specifically state that vinyl windows are not appropriate in the historic district. Also, there is at least one window installed that does not fit the original opening.

imitate an earlier inappropriate style are discouraged. In general, existing openings shall not be covered or relocated. If additional entryways or service doors become necessary, they shall be located and designed in a sensitive manner. If it is necessary to expand original openings, it shall be accomplished in a manner that respects and complements the surrounding building elements, materials, and colors.

PREVIOUS CASES / ADDITIONAL INFORMATION

The applicant received a letter (dated 8/31/21) from code enforcement, prior to the windows being installed, with a reminder that a COA was required for any exterior work. The letter is attached, see exhibit E.

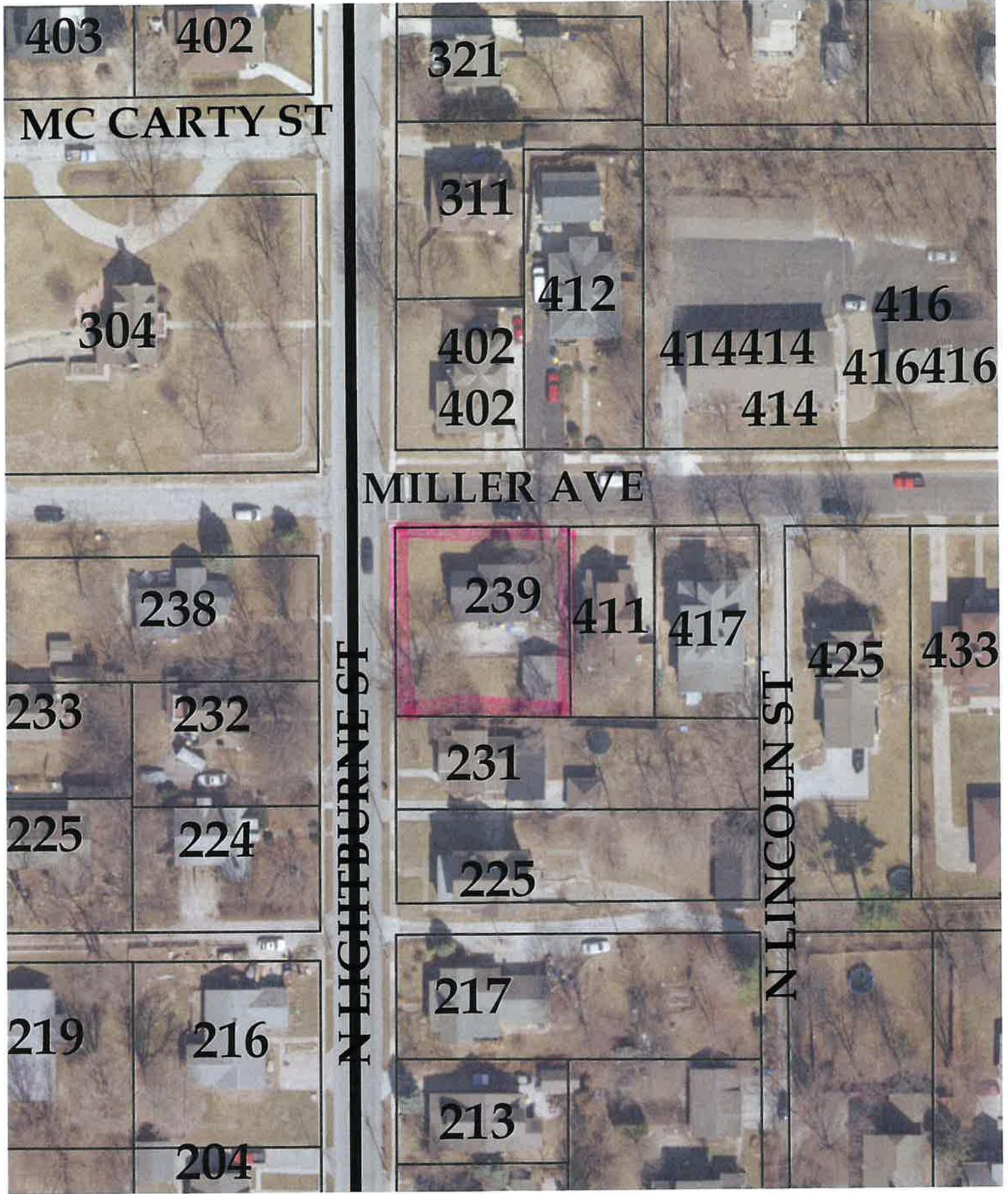
STAFF RECOMMENDATION

The application for vinyl windows does not meet the standards for review and guidelines therefore staff recommends denial of HDRC Case #21-022J

ATTACHMENTS

1. Exhibit A: Vicinity Map
2. Exhibit B: Inventory Data Sheet
3. Exhibit C: Before & After Photos of windows (5 pages)
4. Exhibit D: Manufacturers Information on the new windows
5. Exhibit E: Copy of letter from Code Enforcement dated 8/31/21





HDRC Case #21-022J
239 N. Lightburne



EXHIBIT A:
VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

<p>1. NO. Roll B #12</p> <p>2. COUNTY Clay</p> <p>LOCATION OF NEGATIVES Liberty City Hall-Comm. Dev.</p>	<p>4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 239 N. Lightburne</p> <p>5. OTHER NAME(S)</p>	<p>1. NO. Roll B #12</p> <p>2. COUNTY Clay</p> <p>4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 239 N. Lightburne</p> <p>5. OTHER NAME(S)</p> <p>6. TOWNSHIP</p> <p>RANGE</p> <p>SECTION</p>
<p>6. SPECIFIC LEGAL LOCATION TOWNSHIP _____ RANGE _____ SECTION _____ IF CITY OR TOWN, STREET ADDRESS</p> <p>7. CITY OR TOWN IF RURAL, VICINITY Liberty, Missouri</p> <p>8. DESCRIPTION OF LOCATION</p> <div style="border: 1px solid black; padding: 5px; margin: 5px;"> </div> <p>9. COORDINATES UTM LAT _____ LONG _____</p> <p>10. SITE () STRUCTURE () BUILDING (X) OBJECT ()</p> <p>11. ON NATIONAL REGISTER? YES () NO (X)</p> <p>12. IS IT ELIGIBLE? YES () NO (X)</p> <p>13. DISTRICT POTENTIAL? YES () NO (X)</p> <p>14. DISTRICT POTENTIAL? YES () NO (X)</p> <p>15. NAME OF ESTABLISHED DISTRICT</p>	<p>16. THEMATIC CATEGORY Architecture</p> <p>17. DATE(S) OR PERIOD c. 1912</p> <p>18. STYLE OR DESIGN Folk House: Gable-Front-&Wing</p> <p>19. ARCHITECT OR ENGINEER unknown</p> <p>20. CONTRACTOR OR BUILDER unknown</p> <p>21. ORIGINAL USE, IF APPARENT residence</p> <p>22. PRESENT USE residence</p> <p>23. OWNERSHIP PUBLIC () PRIVATE (X)</p> <p>24. OWNER'S NAME AND ADDRESS IF KNOWN Barbara and Brenda Reeves 1101 W. Forest, Excel. Sprngs.</p> <p>25. OPEN TO PUBLIC? YES () NO (X)</p> <p>26. LOCAL CONTACT PERSON OR ORGANIZATION Liberty, MO; Community Develop.</p> <p>27. OTHER SURVEYS IN WHICH INCLUDED</p>	<p>28. NO. OF STORIES 1 1/2</p> <p>29. BASEMENT? YES (X) NO ()</p> <p>30. FOUNDATION MATERIAL concrete</p> <p>31. WALL CONSTRUCTION frame</p> <p>32. ROOF TYPE AND MATERIAL gable/asphalt shingle</p> <p>33. NO. OF BAYS FRONT 2 SIDE 2</p> <p>34. WALL TREATMENT weatherboard</p> <p>35. PLAN SHAPE rectangular</p> <p>36. CHANGES (EXPLAIN IN NO. 42) ADDITION (X) ALTERED (X) MOVED ()</p> <p>37. CONDITION INTERIOR unknown EXTERIOR good</p> <p>38. PRESERVATION UNDERWAY? YES () NO (X)</p> <p>39. ENDANGERED? BY WHAT? YES () NO (X)</p> <p>40. VISIBLE FROM PUBLIC ROAD? YES (X) NO ()</p> <p>41. DISTANCE FROM AND FRONTAGE ON ROAD 20' N. Lightburne</p>
<p>42. FURTHER DESCRIPTION OF IMPORTANT FEATURES</p> <p>A variation of the gable-front-and-wing house, this home has a new addition at its south-east end. Open porch placed within the "L" of the two wings and supported by wooden posts. Window box, west façade, also non-original. Brick chimney, offset right.</p>	<p style="font-size: 2em; font-weight: bold;">PHOTO MUST BE PROVIDED</p>	
<p>43. HISTORY AND SIGNIFICANCE</p> <p>See 402 Doniphan Street</p>		
<p>44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS</p> <p>Cement drive to south leading to a two bay gabled, cement block garage. Located in a neighborhood consisting of late 19th and early 20th century housing stock.</p>		
<p>SOURCES OF INFORMATION Water permit # 7-1070 4/15/12 Dewey Dillon</p>	<p>46. PREPARED BY C. Millstein/P. Glenn</p> <p>47. ORGANIZATION Liberty-Community Dev.</p> <p>48. DATE SPR. 86</p> <p>49. REVISION DATE(S)</p>	
<p>RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION P.O. BOX 176 JEFFERSON CITY, MISSOURI 65102 PH 314-751-4000</p>		
<p>EXHIBIT B</p>		





Jeanine Thill <jthill@libertymo.gov>

Windows at 239 lightburne.

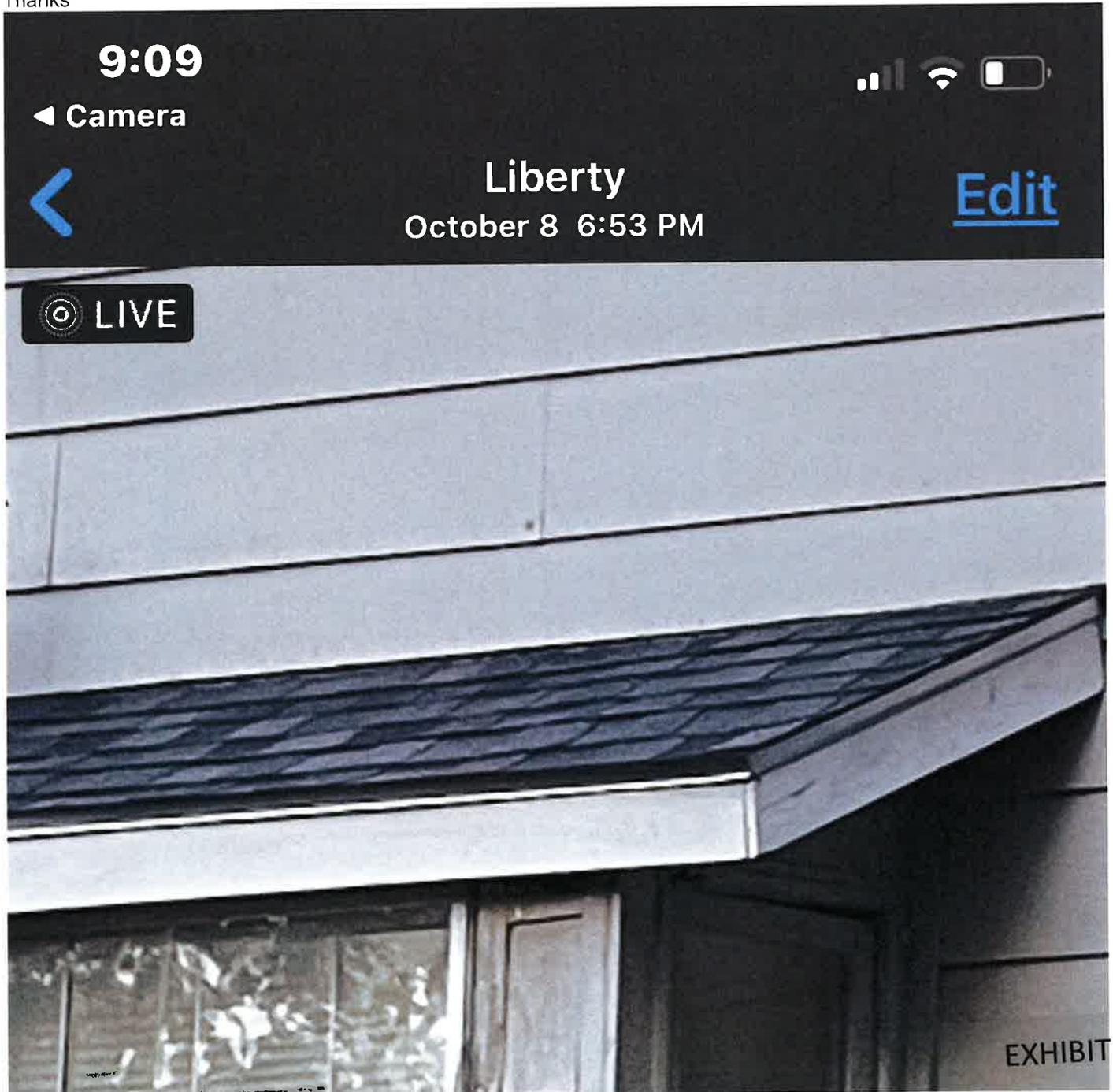
1 message

Sam Lodhi <Sam.Lodhi@hallmark.com>
To: "jthill@libertymo.gov" <jthill@libertymo.gov>

Thu, Oct 21, 2021 at 9:53 AM

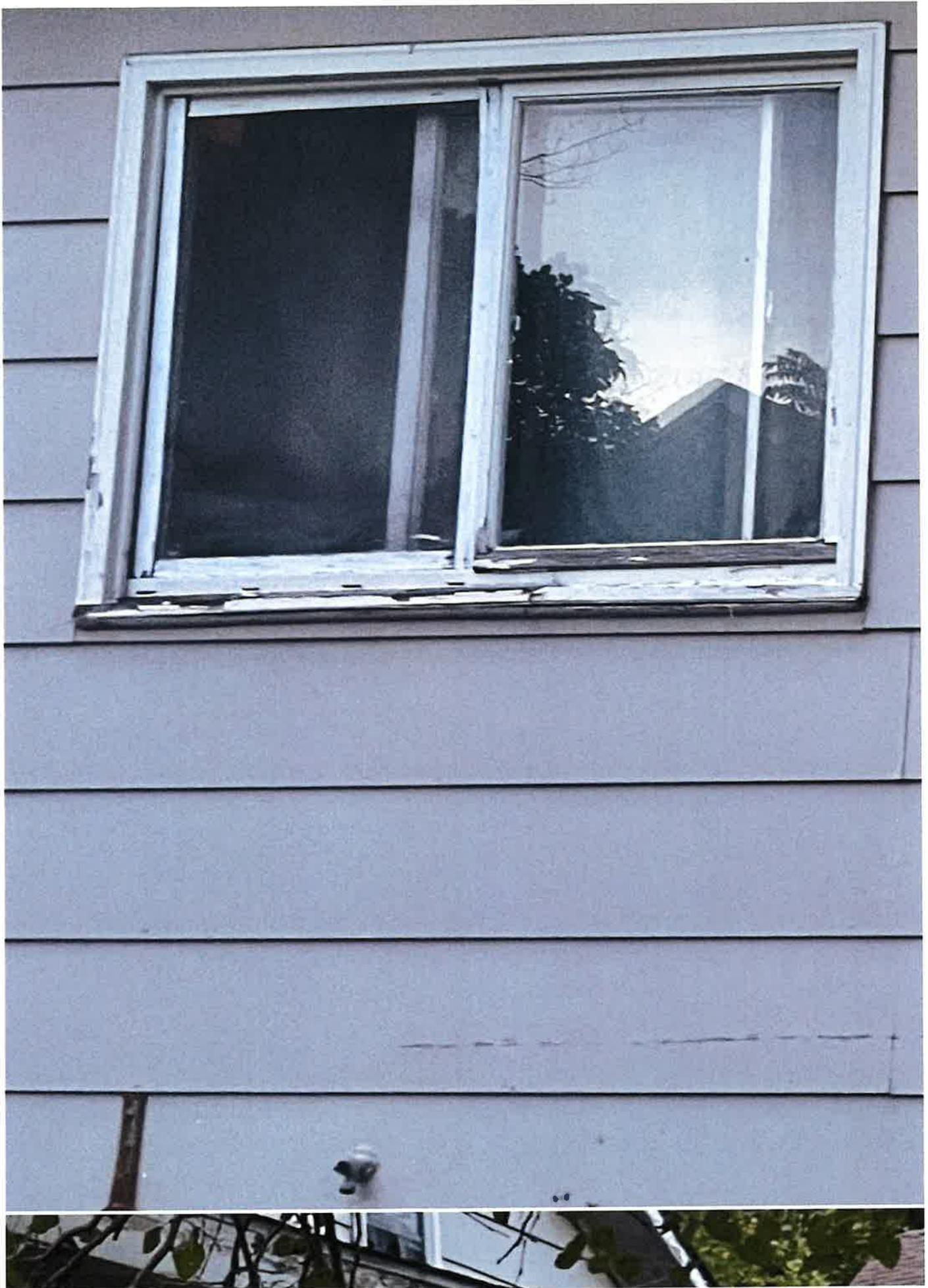
Hi Jeanine, please attached photos of the windows that were there before. Notice these are not original windows also the front window and the side windows were vinyl you can see the tab on the side window the window had a pivot in it and a crank to open. So clearly not Original windows. In light of this photo evidence please make exception this one time since the new windows have been installed. I can add a wood grid on to the glass to make them look authentic. Any leniency in the matter will be very appreciated.

Lastly I am also going to change the enter door which is not original either but before I change I wanted to check with you. Thanks



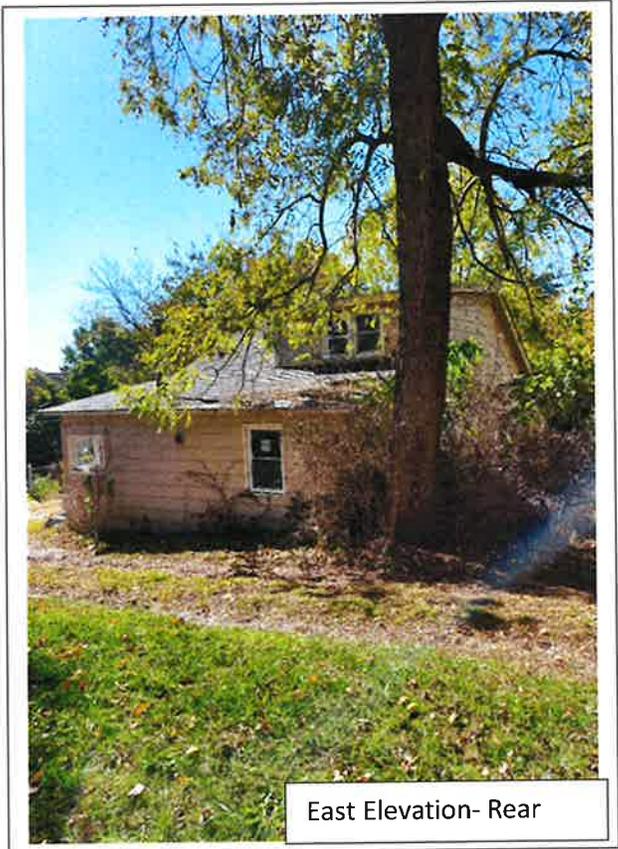








West Elevation- Front



East Elevation- Rear



North Elevation - Near rear of home



North Elevation- Near front of home

Existing Conditions, After the Fact
Vinyl Windows at 239 N Lightburne

Product Overview

The American Craftsman Series 70 Single Hung Fin Single hung window pairs an elegant exterior appearance with sturdy construction to create a premium window. The ultimate balance of energy savings and low-maintenance is achieved with this incredibly durable and attractive vinyl window. It combines the classic look of colonial molding with energy efficient construction to help keep out the elements. An extensive selection of styles, sizes and shapes allows you to create a nearly endless array of design possibilities. Quality craftsmanship and energy efficiency make the Series 70 Single Hung Fin Single hung window an excellent choice.

- Energy efficient design
- Dual weather stripping creates a weather tight seal
- Low-maintenance vinyl never needs painting
- The bottom sash operates
- Easy to clean tilt-in bottom sash
- Decorative colonial exterior frame enhances curb appeal
- Built-in J-channel provides smooth transition to exterior siding

American Craftsman

36 in. x 62 in. 70 Series Single Hung Fin Vinyl Window - White

★★★★★ (7) [Questions & Answers \(4\)](#)



The City of



08/31/2021

Mohammad & Gina Khan-Lodhi
16811 NE 77th St.
Liberty, MO. 64068

RE: Parcel No. #15115000400800, 239 N. Lighthorne St.

Dear Current Owner,

This is a courtesy notice to advise you that the City of Liberty's Code Enforcement has either received a report or observed a condition on the property described herein which is in violation of the ordinances. The ordinances are necessary for the wellbeing and safety of all residents and to protect property values in our neighborhoods and community. Owning a property within the city limits, requires the property owner to meet certain maintenance standards. If the conditions are not corrected or we do not receive a response to this notice within 10 days, an official notice to comply letter will follow.

Liberty City Code Sec. 21.2.16:

"Any building, structure or portion thereof that is structurally unsound or displays any of the following conditions. Abridged"

- A. *Roofs, eaves or soffits that are open to the elements.*
- B. *Gutters and downspouts that are damaged and not directing rainwater runoff as appropriate.*
- C. *Any exterior opening that is not fitted with a window, door, basement hatchway cover or crawl space cover, as appropriate.*
- D. *Windows that do not include intact glass windowpanes*
- E. *Windows or exterior doors that do not fit well within their frames.*
- F. *Foundations that are open to the elements.*
- G. *Exterior wall surfaces that are not sheathed with weather resistant and durable materials consistent with those permitted under the city's building code.*
- H. *Attachments to structures, including but not limited to porches, landings, fire escapes decks, railings and exterior stairs that are not safe and functional.*
- I. *Fencing that is in disrepair, deteriorated or collapsed or does not function as intended.*

Please repair the highlighted items above, per city code 21.2.16. 816-439-4539. You are located in the Historic District and will need approval for any exterior repairs.

Compliance Date Observed: 08/31/2021

If you feel you have received this letter in error please feel free to contact me with any questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Tiffany McGinnis".

Tiffany McGinnis
Code Enforcement Division, Planning & Development Department
E: Tmcginnis@libertymo.gov C: 816-918-7380 O: 816-439-4539