



**HISTORIC DISTRICT
REVIEW COMMISSION**

August 7, 2018

5:30 p.m.

**City Hall
Council Chambers
101 E. Kansas**



**HISTORIC DISTRICT REVIEW COMMISSION
Regular Meeting Agenda**

August 7, 2018

5:30 p.m.

City Council Chambers

I. Call to Order

II. Roll Call

John Carr, Vern Drottz, Mike Gilmore, Matt Grundy, Dail Hobbs, Clay Lozier,
Kelley Wrenn Pozel, Brett Rinker, Doug Wilson

III. Approval of Special Meeting Summary: July 12, 2018

**IV. HDRC Case #18-008J Consideration for a Certificate of Appropriateness for
replacement windows in basement at 481 E. Kansas**

**V. HDRC Case #18-012D Consideration for a Certificate of Appropriateness for
construction of a new deck at 311 W. Kansas**

**VI. HDRC Case#18-010D Consideration for a Certificate of Appropriateness for
a new garage at 232 W. Kansas**

VII. Other Business

Administrative Approvals since the June 12, 2018 meeting:

339 W Franklin Fence

203 N Water Replacement of roof

Miscellaneous matters from the Commission:

Summary of the Preservation Conference in Sedalia – John Carr

Miscellaneous matters from Staff:

Summary of NAPC Conference

VIII. Adjournment



HDRC Case No. 18-008J

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: August 7, 2018

GENERAL INFORMATION

Application: Certificate of Appropriateness for the replacement of three basement windows

Applicant: Kelly Chasteen

Location: 481 E. Kansas

District: Jewell Historic District

NRHP Status/category: Contributing

File Date: July 26, 2018

SPECIFIC INFORMATION

SITE HISTORY

This modest economical Bungalow is characteristic of the type of home that was popular in America from 1900 to 1930. Principal gable of roof echoed in smaller porch roof. Porch roof supported by battered classical piers raised on brick plinths. Surrounds are plain, exposed rafters visible under the shed roof of dormer facing east. There are two single stack brick chimneys.

PROPOSAL DESCRIPTION

The applicant proposes to replace three original six over six basement windows with one over one Infinity Window from Marvin, an ultrex-fiberglass window, with no divided lights.

ANALYSIS

Unified Development Ordinance (“UDO”) - The Unified Development Ordinance outlines design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines (“DG”) - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

DG: Sec. 30-72. District HP, design principles.

7. <u>Doors and windows:</u> Original doors and windows shall not be replaced unless there is substantial evidence that they are no longer	The basement windows are no longer serviceable. It would be
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serviceable or cannot be restored. Restoration of original entryways that may have been covered, altered, or removed over time is encouraged. Replacement doors and windows that imitate an earlier inappropriate style are discouraged. In general, existing openings shall not be covered or relocated. If additional entryways or service doors become necessary, they shall be located and designed in a sensitive manner. If it is necessary to expand original openings, it shall be accomplished in a manner that respects and complements the surrounding building elements, materials, and colors. On secondary elevations, the windows shall duplicate the original in size, material, general muntin and mullion detailing and glass quality.

appropriate to replace the windows with like in-kind materials.

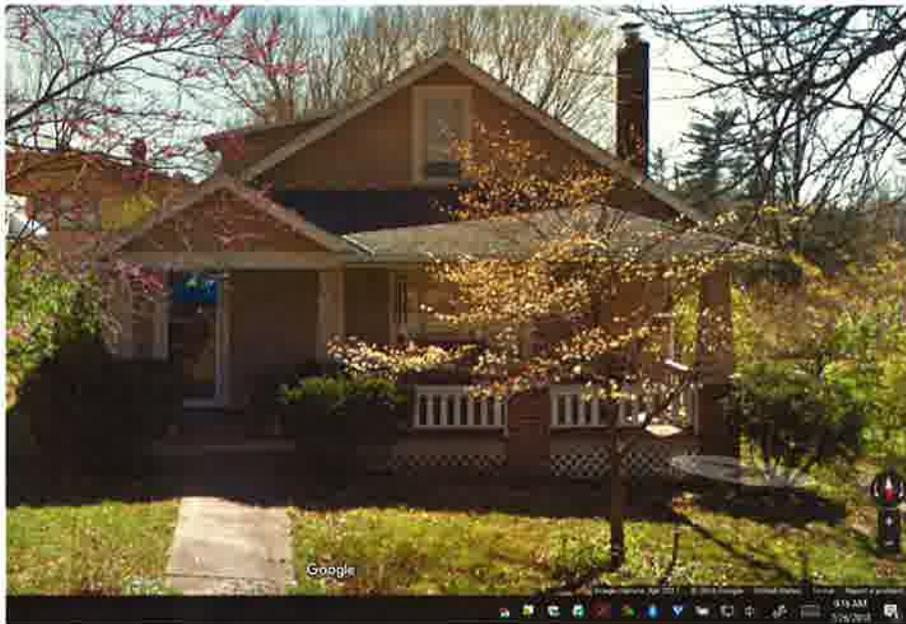
STAFF RECOMMENDATION

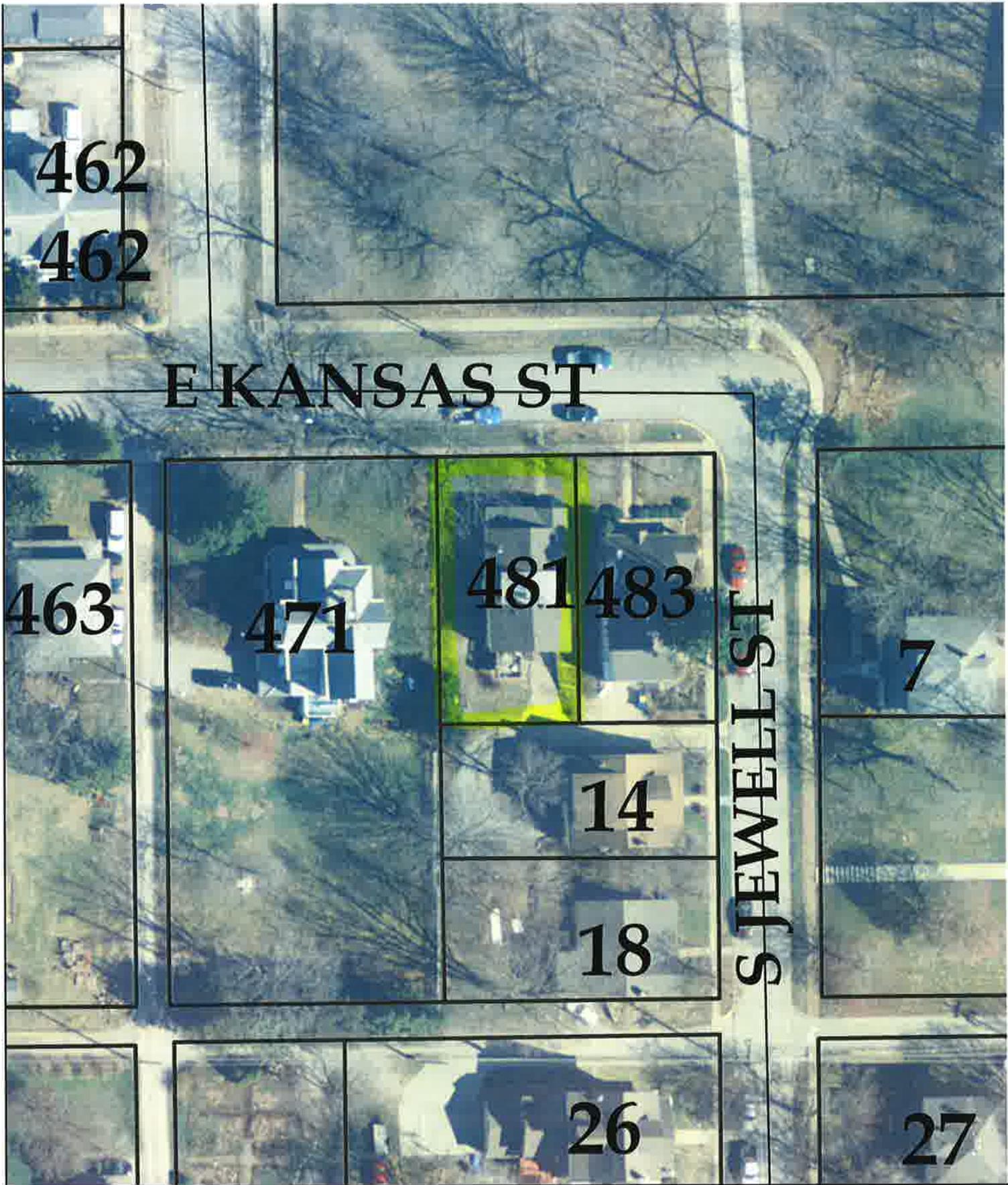
The application, with stipulations, meets the standards for review and guidelines; therefore staff recommends approval of HDRC case #18-008J with the stipulations that the basement windows are six over six with divided lights and duplicate the original in size.

ATTACHMENTS

1. Exhibit A: Vicinity Map
2. Exhibit B: Inventory Data Sheet
3. Exhibit C: Windows to be replaced
4. Exhibit D: Manufacturers info on proposed windows

481 E. Kansas Street





HDRC Case #18-008J
481 E Kansas

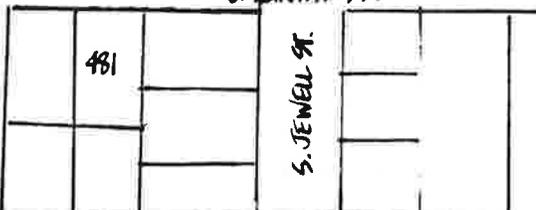


EXHIBIT A:
VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

1. NO. Roll E # 20 2. COUNTY Clay	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 481 E. Kansas St.
3. LOCATION OF NEGATIVES Liberty City Hall-Comm. Dev.	5. OTHER NAME(S)

6. SPECIFIC LEGAL LOCATION TOWNSHIP _____ RANGE _____ SECTION _____ IF CITY OR TOWN, STREET ADDRESS	16. THEMATIC CATEGORY Architecture	28. NO. OF STORIES 1 1/2 29. BASEMENT? full YES (X) NO ()
7. CITY OR TOWN IF RURAL, VICINITY Liberty, Missouri	17. DATE(S) OR PERIOD c. 1930	30. FOUNDATION MATERIAL limestone
8. DESCRIPTION OF LOCATION E. KANSAS ST. 	18. STYLE OR DESIGN Bungalow	31. WALL CONSTRUCTION frame
UTM Coordinates: A 379580 4344980 B 377440 4344700 C D	19. ARCHITECT OR ENGINEER unknown	32. ROOF TYPE AND MATERIAL gable/asphalt shin.
10. SITE () BUILDING (X) STRUCTURE () OBJECT ()	20. CONTRACTOR OR BUILDER unknown	33. NO. OF BAYS FRONT 2 SIDE 4
11. ON NATIONAL REGISTER? YES () NO (X)	21. ORIGINAL USE, IF APPARENT residence	34. WALL TREATMENT stucco
12. IS IT ELIGIBLE? YES () NO (X)	22. PRESENT USE residence	35. PLAN SHAPE rectangular
13. PART OF ESTAB. HIST. DISTRICT? YES () NO (X)	23. OWNERSHIP PUBLIC () PRIVATE (X)	36. CHANGES (EXPLAIN IN NO. 42) ADDITION () ALTERED () MOVED ()
14. DISTRICT POTENTIAL? YES () NO ()	24. OWNER'S NAME AND ADDRESS IF KNOWN Estella Fae Allen 481 E. Kansas	37. CONDITION INTERIOR unknown EXTERIOR fair
5. NAME OF ESTABLISHED DISTRICT	25. OPEN TO PUBLIC? YES () NO (X)	38. PRESERVATION UNDERWAY? YES () NO (X)
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES Principal gable of roof echoed in smaller of porch roof. Porch roof supported by battered classical piers raised on brick plinths. Surrounds are plain; exposed rafters visible under shed roof of dormer facing E. There are two single stack brick chimneys.	26. LOCAL CONTACT PERSON OR ORGANIZATION Liberty, Mo; Community Develop.	39. ENDANGERED? BY WHAT? YES () NO (X)
43. HISTORY AND SIGNIFICANCE This modest, economical Bungalow is characteristic of the type popular in America from 1900 to 1930.	27. OTHER SURVEYS IN WHICH INCLUDED	40. VISIBLE FROM PUBLIC ROAD? YES (X) NO ()
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS Located in a residential neighborhood consisting of late 19th and early 20th century housing stock.	PHOTO MUST BE PROVIDED	41. DISTANCE FROM AND FRONTAGE ON ROAD 20'
45. SOURCES OF INFORMATION Water permit # 8-0590 W.M.Hall 11-8-39	46. PREPARED BY C. Millstein/P. Glenn	47. ORGANIZATION Liberty-Community Dev.

RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION
 P.O. BOX 176
 JEFFERSON CITY, MISSOURI 65102
 PH. 314-751-4096

48. DATE SPR. 86
 49. REVISION DATE(S)

IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM

Exhibit B

1. NO. Roll E # 20
 2. COUNTY Clay
 4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 481 E. Kansas St.
 5. OTHER NAME(S)
 6. TOWNSHIP
 RANGE
 SECTION





EXHIBIT C







Unit Features on Windows and Doors

Marvin Windows and Doors offers an assortment of products and features to fit your window and door requirements. Each product offers similarities that allow multiple products to be positioned in your project and look similar yet distinctive. Below is a collection of the similar characteristics you will find throughout our product lines. For product specific features, refer to the collection or individual chapters for additional information.

Clad Frame and Sash:

- Exterior: Extruded aluminum.050"(1.3) thick
- Standard colors: Stone White, Bahama Brown, Bronze, Pebble Gray, Evergreen, Ebony, Wineberry, Sierra White, Coconut Cream, Cashmere, Cadet Gray, Hampton Sage, Cascade Blue, Bright Silver (pearlescent), Copper (pearlescent), Clay, Gunmetal, Liberty Bronze (pearlescent), or Suede
 - Custom colors are available, please contact your Marvin representative
- Interior: Standard is treated pine bare wood
- Optional species: mixed grain Douglas fir, mahogany, vertical grain Douglas fir, cherry and white oak
 - Cherry and white oak are available on parts towards the interior on clad units only
- The Wood is dried to a moisture content of 12% or less

Wood Frame and Sash:

- The wood is dried to a moisture content of 12% or less
- Exterior and Interior: Standard is treated pine bare wood
- Optional species: mixed grain Douglas fir, mahogany, and vertical grain Douglas fir
- Cedar Dress Option
 - Brick Mold and Flat Casing
 - Subsill
 - Mull Covers
- See [Wood Ultimate Double Hung Collection Chapter](#) for additional Cedar Dress options

Interior Finish Options:

- Prime: Factory applied enamel primer
 - Available on Pine products only
- Painted Interior Finish (PIF): Factory applied water-borne acrylic enamel paint applied over compatible primer
 - Available on pine products only.
 - Available colors: White or Designer Black
- Clear Interior Finish (CIF): Factory applied water-borne acrylic enamel clear coat. Applied in two separate coats with light sanding between coats.
 - Available on pine, mahogany, mixed grain Douglas fir, vertical grain Douglas fir, cherry, and white oak
- Stain Interior Finish (SIF): Factory applied water-borne stain. Stain applied over a wood (stain) conditioner. A water-borne acrylic enamel clear coat applied on two separate coats, with light sanding between coats, applied over the stain
 - Available on pine, mahogany, mixed grain Douglas fir, vertical grain Douglas fir, cherry, white oak
 - Colors available: Wheat, Honey, Hazelnut, Leather, Cabernet, and Espresso

Interior Jamb Extension:

- Jamb extensions are available for various wall thickness factory applied up to 14" (356) wide
 - Finish to match interior
- Jamb extensions over 7 9/16" (192) will be edge glued, 4 11/16" (119) jamb extension will be shipped loose

Insect Screen:

- Standard Screen is roll formed aluminum with Charcoal Fiberglass screen mesh
 - Optional screen mesh is Charcoal High Transparency Fiberglass Mesh, Charcoal Aluminum Wire, Black Aluminum Wire, Bright Aluminum Wire, or Bright Bronze Aluminum Wire
- Interior screen colors: Satin Taupe, Bronze, White or Ebony
- Exterior screen will match the clad frame color
 - See [Clad and Wood Swinging Door Collection chapters](#) for sliding and swinging screen options.
- Optional wood interior screen for Casement products.
- Optional wood screen for wood exterior Double Hung windows.
- Optional Double Hung Magnum, extruded aluminum, screen for Ultimate Double Hung products.

Removable Interior Grilles:

- Bar: 3/4" (19) or 1 1/8" (29) wide bars
- Wood species: pine or mixed grain Douglas fir
- Pattern: Rectangular, diamond, custom lite layouts and full surround

Historic District Review Commission

The City of



HDRC Case No. 18-012D

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: August 7, 2018

GENERAL INFORMATION

Application: Certificate of Appropriateness for replacement of deck
 Applicant: Trevor Angle
 Location: 311 West Kansas Street
 District: Dougherty Historic District
 NRHP Status/category: Contributing
 File Date: July 12, 2018

SPECIFIC INFORMATION

SITE HISTORY

This house built in 1912 is a good example of the eclectic mixture of styles which were prevalent in residential pattern books available during the first part of the 1900's. It lends character to the group of "workingman's" homes found on West Kansas Street. The attic 1/2 story prevents it from being a true example of a bungalow, and the narrow lot dictates a few long extensions typical of a true Prairie style house. A variety of eave forms give the house a picturesque appeal – from the side shed roof dormers, steep pitched front gable, and low pitched front porch gable extension with boxed returns. The full-length veranda front porch has corner brick columns and square, wooden entry columns on brick piers. The windows are 1/1 double-hung.

PROPOSAL DESCRIPTION

Rebuild new deck to 8'X14'

- **Materials:**
 - Treated lumber
 - 6"X6" post
 - 2X10 framing joist on 16"centers
 - 42" handrail with 2X2 wood spindles

ANALYSIS

Unified Development Ordinance ("UDO") - The Unified Development Ordinance outlines design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines ("DG") - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

DG: Sec. 30-72. District HP, design principles.	Staff Analysis
8. <u>Porches</u> : Porches, porticos, stoops, entryways, loading docks, decks, and exterior stairways shall be of a scale, design, material, and color that complement the existing	The proposed deck will complement the design and materials of the house.

façade and its individual elements.

UDO: Sec. 30-81.2. Accessory structures, residential districts.

5. A deck, patio, or gazebo shall be allowed only in the rear yard and located at least 5 feet from any lot line.

The proposed deck meets the required setbacks.

PREVIOUS CASES / ADDITIONAL INFORMATION

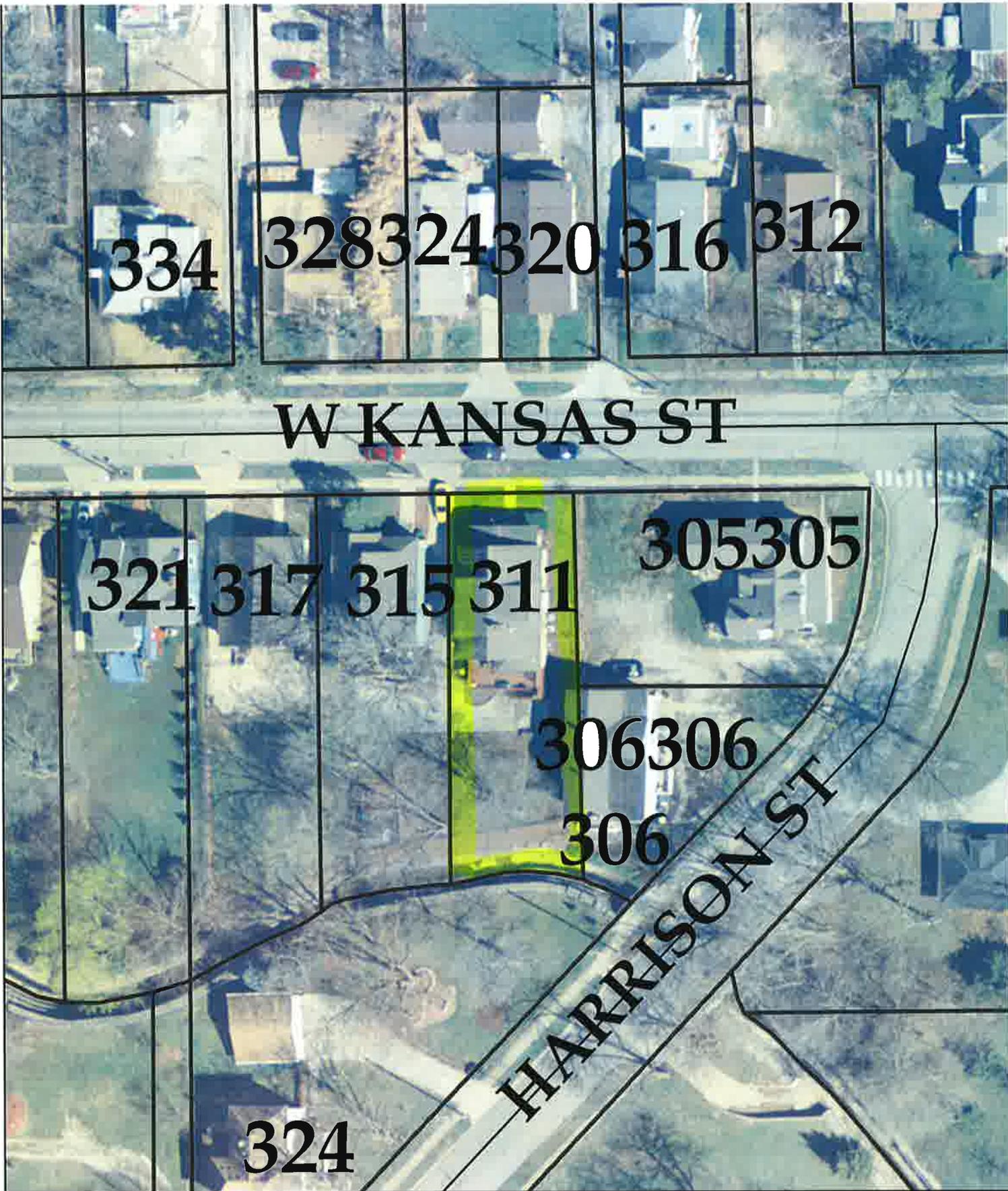
STAFF RECOMMENDATION

The application meets the standards for review and the historic district design guidelines; therefore staff recommends approval of HDRC Case #18-012D

ATTACHMENTS

1. Exhibit A: Vicinity Map
2. Exhibit B: Inventory Data Sheet
3. Exhibit C: Drawing of Deck and Materials





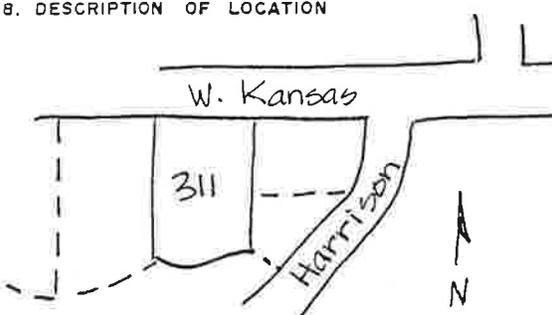
HDRC Case #18-012D
311 W Kansas



EXHIBIT A:
VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

1. NO. <u>E-13</u> 2. NTY <u>Clay</u> 3. LOCATION of <u>Liberty Community Development</u> NEGATIVES	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) <u>311 W. Kansas</u> 5. OTHER NAME(S)	1. NO.
6. SPECIFIC LEGAL LOCATION TOWNSHIP <u>51N</u> RANGE <u>31W</u> SECTION <u>7</u> IF CITY OR TOWN, STREET ADDRESS <u>311 W. Kansas</u>	16. THEMATIC CATEGORY 17. DATE(S) OR PERIOD <u>1912</u> 18. STYLE OR DESIGN <u>Vernacular-bungalowoid Prairie</u> 19. ARCHITECT OR ENGINEER 20. CONTRACTOR OR BUILDER 21. ORIGINAL USE, IF APPARENT <u>residence</u> 22. PRESENT USE <u>residence</u> 23. OWNERSHIP PUBLIC () PRIVATE (X) 24. OWNER'S NAME AND ADDRESS IF KNOWN <u>E.N. & Mary E. Hosman</u>	2. COUNTY
7. CITY OR TOWN IF RURAL, VICINITY <u>Liberty</u> 8. DESCRIPTION OF LOCATION 	25. OPEN TO PUBLIC? YES () NO (X) 26. LOCAL CONTACT PERSON OR ORGANIZATION <u>Jared Cooper, City Hall</u> 27. OTHER SURVEYS IN WHICH INCLUDED	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S)
9. COORDINATES UTM LAT <u>N121,250</u> LONG <u>E521,300</u>	30. FOUNDATION MATERIAL <u>stone</u> 31. WALL CONSTRUCTION <u>frame</u> 32. ROOF TYPE AND MATERIAL <u>gable; composition shingle</u> 33. NO. OF BAYS FRONT <u>2</u> SIDE <u>3</u> 34. WALL TREATMENT <u>clapboard</u> 35. PLAN SHAPE <u>rectangle</u> 36. CHANGES (EXPLAIN IN NO. 42) ADDITION () ALTERED () MOVED () 37. CONDITION INTERIOR _____ EXTERIOR <u>excellent</u> 38. PRESERVATION UNDERWAY? YES () NO (X) 39. ENDANGERED? BY WHAT? YES () NO (X)	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S)
10. SITE () STRUCTURE () BUILDING (X) OBJECT () 11. NATIONAL HISTORIC? YES () NO (X) 12. IS IT ELIGIBLE? YES () NO (X) 13. PART OF ESTAB. HIST. DISTRICT? YES () NO (X) 14. DISTRICT POTENTIAL? YES (X) NO () 15. NAME OF ESTABLISHED DISTRICT	40. VISIBLE FROM PUBLIC ROAD? YES (X) NO () 41. DISTANCE FROM AND FRONTAGE ON ROAD <u>95'</u>	5. OTHER NAME(S)
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES The attic 1/2-story prevent it from being a true example of a bungalow, and the narrow lot dictates few long extensions typical of a true Prairie style house. A variety of eave forms give the house a picturesque appeal - from the side shed roof dormers, steep pitched front gable, and low pitched front porch gable extension with boxed returns. The full-length veranda front porch has corner brick columns and square, wooden entry (cont.)	<div style="border: 2px solid black; padding: 20px; width: 100%;"> <p style="text-align: center; font-weight: bold;">PHOTO MUST BE PROVIDED</p> </div>	5. OTHER NAME(S)
43. HISTORY AND SIGNIFICANCE The house is a good example of the eclectic mixture of styles which were prevalent in residential pattern books available during the first part of this century. It lends character to the group of "workingman's" homes found on West Kansas Street.	44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS The house sits on two very small lots, and the rear property line is a small creek.	6. TOWNSHIP
45. SOURCES OF INFORMATION <u>City water permits</u>	46. PREPARED BY <u>Deon Wolfenbarger</u> 47. ORGANIZATION <u>Community Development</u> 48. DATE <u>1/87</u> 49. REVISION DATE(S) <u>Exhibit B</u>	6. TOWNSHIP
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION P.O. BOX 176 JEFFERSON CITY, MISSOURI 65102 PH 314 751 4000	IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM	RANGE
		SECTION

04-013D
01-007D
09-new mtd

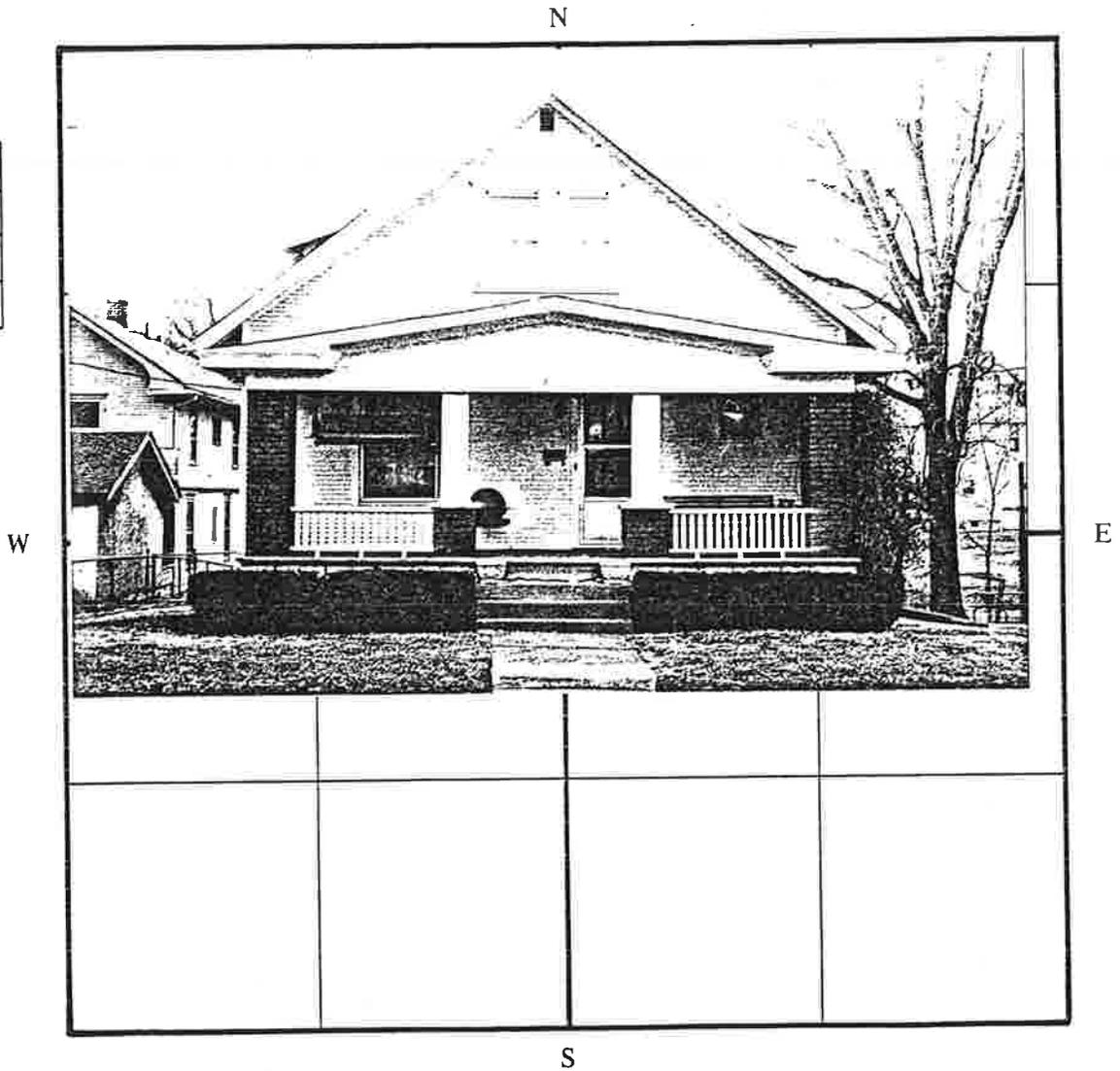
Sketch map of location

Site No. E-13

Section 7 Township 51N Range 31W

Indicate the chief topographical features, such as streams and elevations. Also indicate houses and roads. Indicate the site location by enclosing the site area with dotted line. Note scale of map and portion of section included in sketch map. Include drawings, photographs, etc. on additional pages.

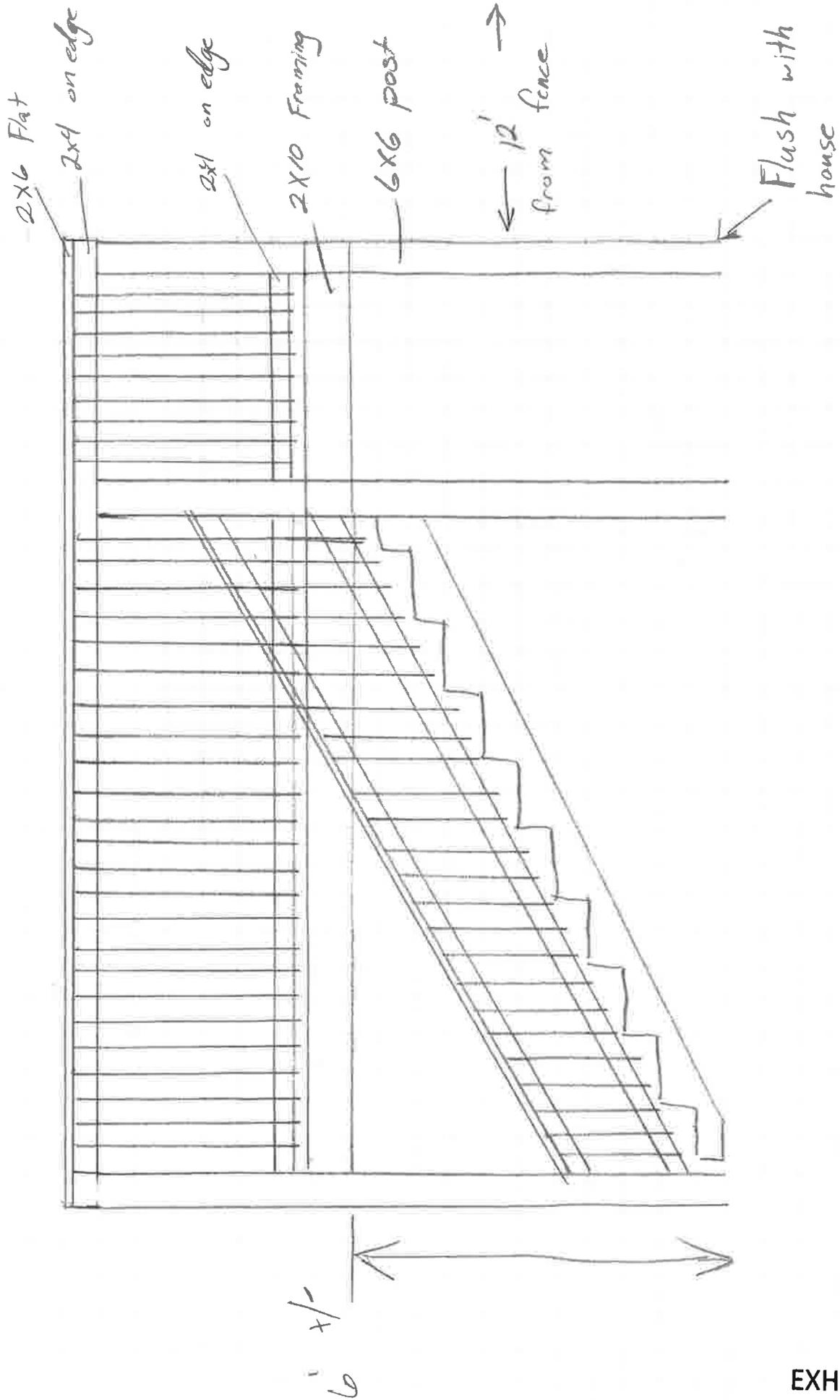
Indicate part of section included in sketch map.

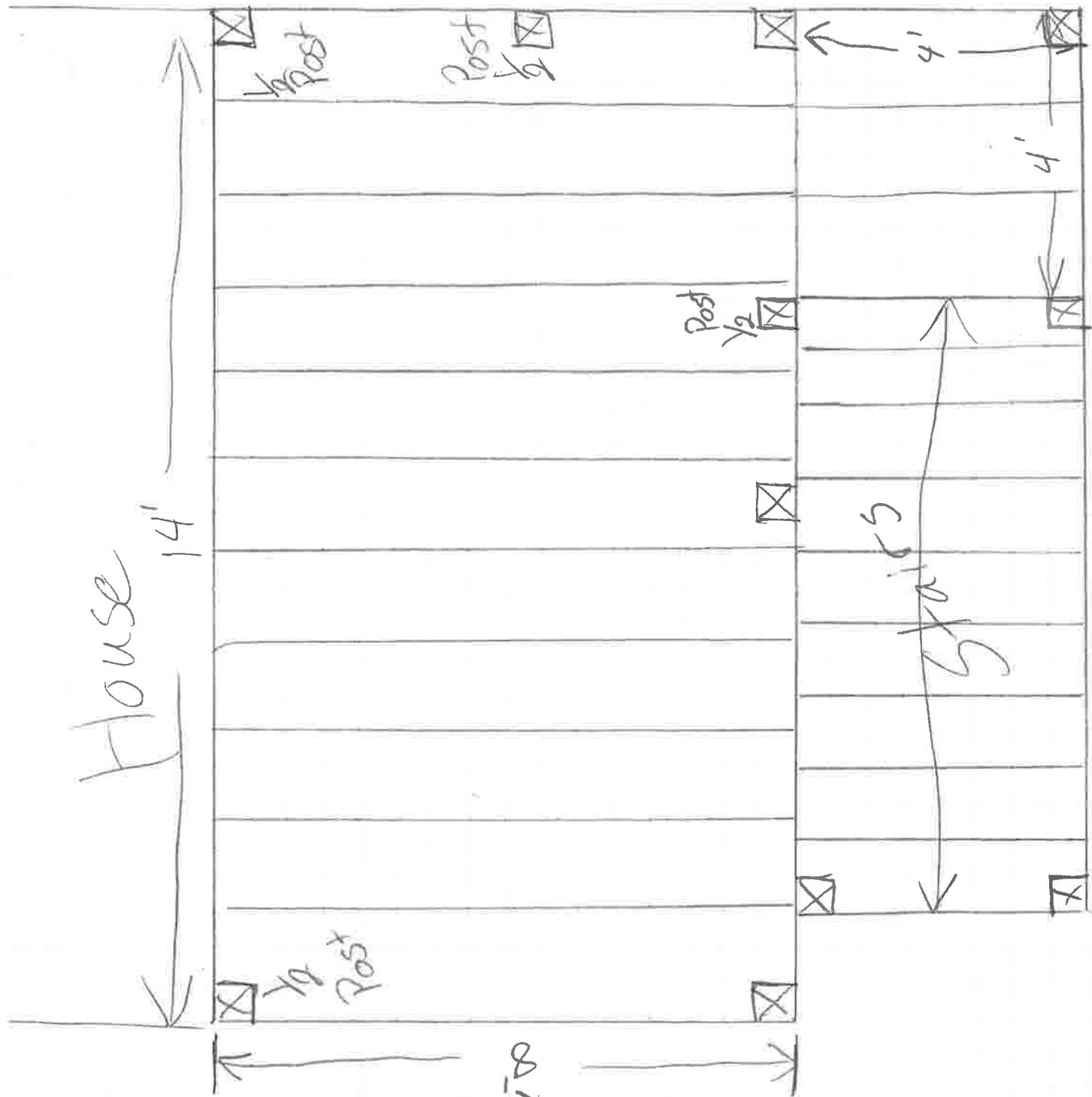


Notes: 42. (cont.) columns on brick piers. The windows are 1/1 double-hung sash with original storms; the front attic windows are paired. The entry door has three narrow lights. A box bay is on the left side.

THIS IS PROBABLY THE ONE MOST IMPORTANT PART OF THIS DATA FORM!

Please Attach a copy of a topographic map with the site marked on it.





Built with all treated lumber
 2x10 Frame on 16" centers
 6x6 Post

5/4 x 6" Decking will run parallel to house

6' Tall off ground

42" Tall handrail

Historic District Review Commission

The City of



HDRC Case No. 18-010D

Staff: Jeanine Thill, Community Development Manager

HDRC Meeting Date: August 7, 2018

GENERAL INFORMATION

Application: Certificate of Appropriateness for a new two-car garage
Applicant: Mike Ruff
Location: 232 W. Kansas St.
District: Dougherty Historic District
NRHP Status/category: Contributing
File Date: July 25, 2018

SPECIFIC INFORMATION

SITE HISTORY

This Queen Anne Victorian house was built in 1883 for Richard Raymond, who also built the house at 233 W. Franklin. This house features an irregular wrap around front porch with turned columns and decorative spindle work. The roof is cross gabled. There is a two-story projecting bay on the front façade. Decorative brackets are found under the eaves. Some of the double-hung windows are in a two-over-two configuration; the others are one-over-one. A one-car garage is attached on the east side by a breezeway. The house was apartments for many years and it was recently renovated and is now a single-family home.

PROPOSAL DESCRIPTION & DETAILS

The applicant proposes construction of a 588 square foot, two-car garage:

- Wood siding to match the home
- Composite roof shingles to match the home
- 5/4 X 5" trim, each side and top wood, painted. 5/4 X 5" corner trim, each corner. Wood, painted
- 5/4 X 5" frieze. Wood, painted
- Wood fascia to match existing house
- Prefinished sheet metal gutters and downspouts
- Single steel carriage-style garage door
- In-kind repairs to siding, as needed
- Remove non-original breezeway walls

ANALYSIS

Unified Development Ordinance ("UDO") - The Unified Development Ordinance outlines

design principles that have been adopted for all historic districts and landmarks in the City of Liberty.

Design Guidelines (“DG”) - Design Guidelines were established to give the HDRC general guidance in making subjective preservation choices in accordance with accepted best practices and the Secretary of the Interior standards for historic preservation.

30-50.3 UDO Design Principles:	Staff Analysis
<i>1. New construction shall maintain the visual style and character of the surrounding neighborhood; and 2. New construction and additions shall complement the setbacks, building scale, parking, building, and garage orientation of the neighborhood.</i>	The new garage will maintain the style of the house and will complement the scale, materials, roof pitch and design of the main structure.
30-72. District HP, Design P:inciples	
<i>1. <u>New Construction:</u> New buildings should not duplicate older styles of architecture, but must be compatible with the architecture of the district. Scale, placement on lots, and street setback must conform to the scale, placement and setback of adjacent structures, especially in the context of rows of buildings and streetscapes. Styles of architecture will be controlled only to ensure that their design, materials and colors are in harmony with neighboring structures.</i>	The garage meets the UDO's size and setback requirements for accessory structures.

PREVIOUS CASES / ADDITIONAL INFORMATION

HDRC Case #18-008D Demolition of the existing one-car garage was approved by HDRC on June 19, 2018

STAFF RECOMMENDATION

The application meets the standards for review and the historic district design guidelines; therefore staff recommends approval of HDRC case #18-010D.

ATTACHMENTS

1. Exhibit A: Vicinity Map
2. Exhibit B: Inventory Data Sheet
3. Exhibit C: Photos of existing conditions
4. Exhibit D: Site plan
5. Exhibit E: Manufacturers information on the proposed garage door.

232 W. Kansas Street



W FRANKLIN ST

245 241 233 227 221

240 232 218 218

W KANSAS ST

249 247 233 227 221 215

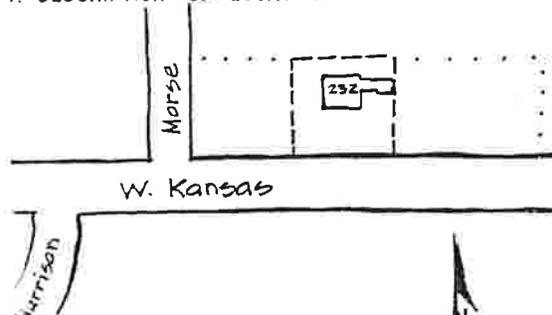
HDRC Case #18-010D
232 W Kansas



EXHIBIT A:
VICINITY MAP

MISSOURI OFFICE OF HISTORIC PRESERVATION

ARCHITECTURAL/HISTORIC INVENTORY SURVEY FORM

NO. <u>A-6, C-37</u> CITY <u>Clay</u> LOCATION <u>of Liberty Community Development</u> NEGATIVES	4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) <u>232 W. Kansas</u> 5. OTHER NAME(S) <u>Raymond Property</u>	1. NO. 2. COUNTY 4. PRESENT LOCAL NAME(S) OR DESIGNATION(S) 5. OTHER NAME(S) 6. TOWNSHIP RANGE SECTION
11. SPECIFIC LEGAL LOCATION TOWNSHIP <u>51N</u> RANGE <u>31W</u> SECTION <u>7</u> IF CITY OR TOWN, STREET ADDRESS <u>232 W. Kansas</u> 12. CITY OR TOWN IF RURAL, VICINITY <u>Liberty</u> 13. DESCRIPTION OF LOCATION  14. COORDINATES UTM LAT <u>N121,250</u> LONG <u>E521,750</u> 15. SITE () STRUCTURE () BUILDING (X) OBJECT () 16. NATIONAL YES () IS IT YES () HER? NO (X) ELIGIBLE? NO (X) 17. PART OF ESTAB. YES () 18. DISTRICT YES (X) HIST. DISTRICT? NO (X) POTENTIAL? NO () 19. NAME OF ESTABLISHED DISTRICT	16. THEMATIC CATEGORY 17. DATE(S) OR PERIOD <u>ca. 1880's</u> 18. STYLE OR DESIGN <u>Queen Anne</u> 19. ARCHITECT OR ENGINEER 20. CONTRACTOR OR BUILDER 21. ORIGINAL USE, IF APPARENT <u>residence</u> 22. PRESENT USE <u>residence</u> 23. OWNERSHIP PUBLIC () PRIVATE (X) 24. OWNER'S NAME AND ADDRESS IF KNOWN <u>Jerome E. Brant</u> 25. OPEN TO PUBLIC? YES () NO (X) 26. LOCAL CONTACT PERSON OR ORGANIZATION <u>Jared Cooper, City Hall</u> 27. OTHER SURVEYS IN WHICH INCLUDED	28. NO. OF STORIES <u>2</u> 29. BASEMENT? YES () NO () 30. FOUNDATION MATERIAL <u>brick</u> 31. WALL CONSTRUCTION <u>frame</u> 32. ROOF TYPE AND MATERIAL <u>cross-gable; asbestos shingle</u> 33. NO. OF BAYS FRONT SIDE 34. WALL TREATMENT <u>asbestos siding</u> 35. PLAN SHAPE <u>irregular</u> 36. CHANGES (EXPLAIN IN NO. 42) ADDITION (X) ALTERED (X) MOVED () 37. CONDITION INTERIOR EXTERIOR <u>Good</u> 38. PRESERVATION UNDERWAY? YES (X) NO () 39. ENDANGERED? BY WHAT? YES () NO (X) 40. VISIBLE FROM PUBLIC ROAD? YES (X) NO () 41. DISTANCE FROM AND FRONTAGE ON ROAD <u>104.3</u>
42. FURTHER DESCRIPTION OF IMPORTANT FEATURES <p>connecting house to garage on right. Asbestos shingle siding covering original clapboards. 37. Recent exterior painting in fall of 1986. *Cross-gable Queen Anne residence, with original Eastlake detailing (spindlework), as well as with some free-classic details. The one-story porch wraps across the front and the two sides in an irregular manner. Eastlake detailing evident in the (over)</p>		<div style="border: 2px solid black; padding: 20px; width: 100px; margin: 0 auto;"> <p style="text-align: center; font-weight: bold;">PHOTO MUST BE PROVIDED</p> </div>
43. HISTORY AND SIGNIFICANCE <p>Richard L. Raymond was a leading early citizen of Liberty, and was active in many community projects. Born in Kentucky in 1842, he moved to Clay County in 1856, and to Liberty in 1881. A farmer and stock raiser, he was one of three members of Liberty's Semi-Centennial Committee who lived to the Centennial. He lived in this house with his three daughters until 1909, when he built a more "modern" house on the back of the lot (235 W. Franklin). He was known as a generous supporter of the Christian Church.</p> <p>In addition to its connections with the Raymonds, the house is significant as one of the earlier prominent homes on W. Kansas, and for the architectural details described above.</p>		
44. DESCRIPTION OF ENVIRONMENT AND OUTBUILDINGS <p>The house is located on a large, wooded lot, and is set-back from the road further than its neighbors on either side. One-story, gable it garage is attached to the house on the right by a passageway.</p>		
45. SOURCES OF INFORMATION <u>"Get to Know Old Clay", Historical Tour, June 2, 1973, Clay County Historical Society. Clay County Missouri Centennial Souvenir 1822-1922. Liberty Sun, Vol. 13, #52.</u>		46. PREPARED BY <u>Deon Wolfenbarger</u> 47. ORGANIZATION <u>Community Development</u> 48. DATE <u>12/86</u> 49. REVIEWED EXHIBIT B
RETURN THIS FORM WHEN COMPLETED TO: OFFICE OF HISTORIC PRESERVATION P.O. BOX 176 JEFFERSON CITY, MISSOURI 65102		

IF ADDITIONAL SPACE IS NEEDED, ATTACH SEPARATE SHEET(S) TO THIS FORM

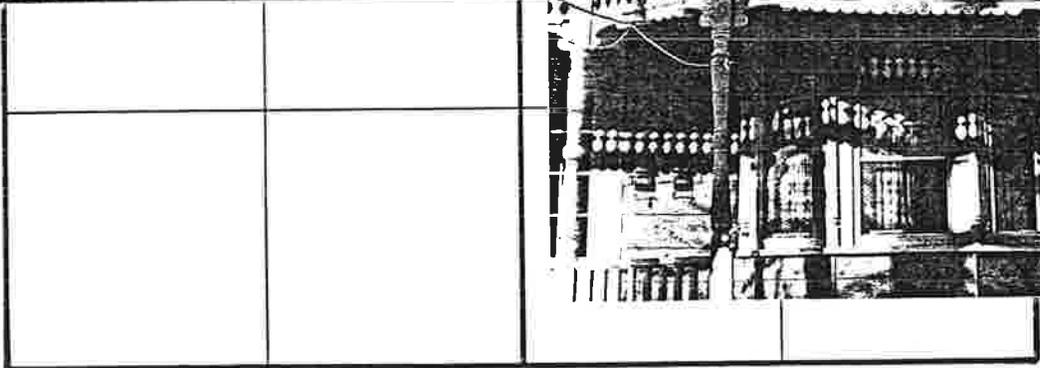
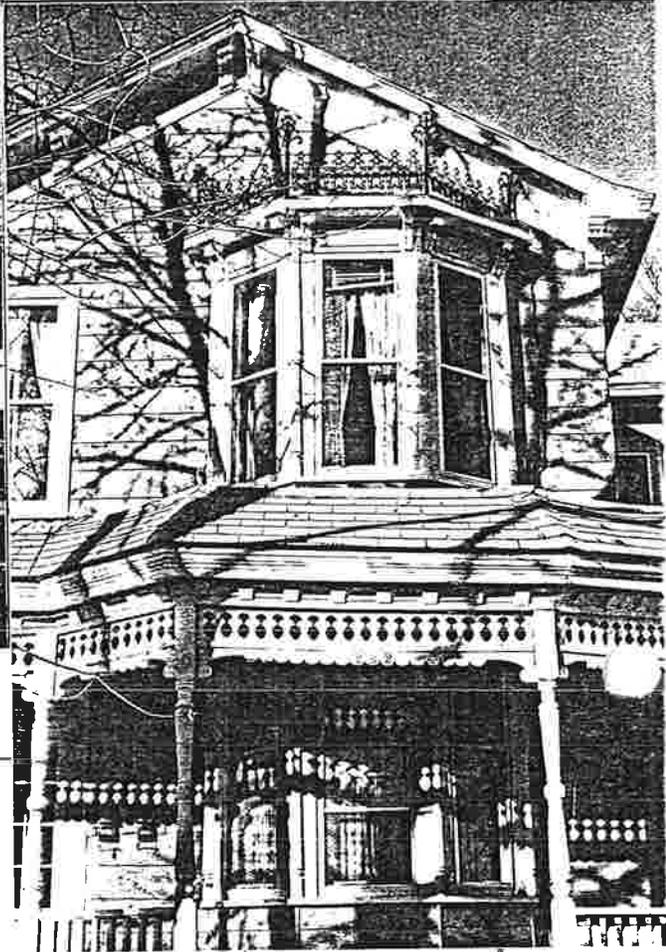
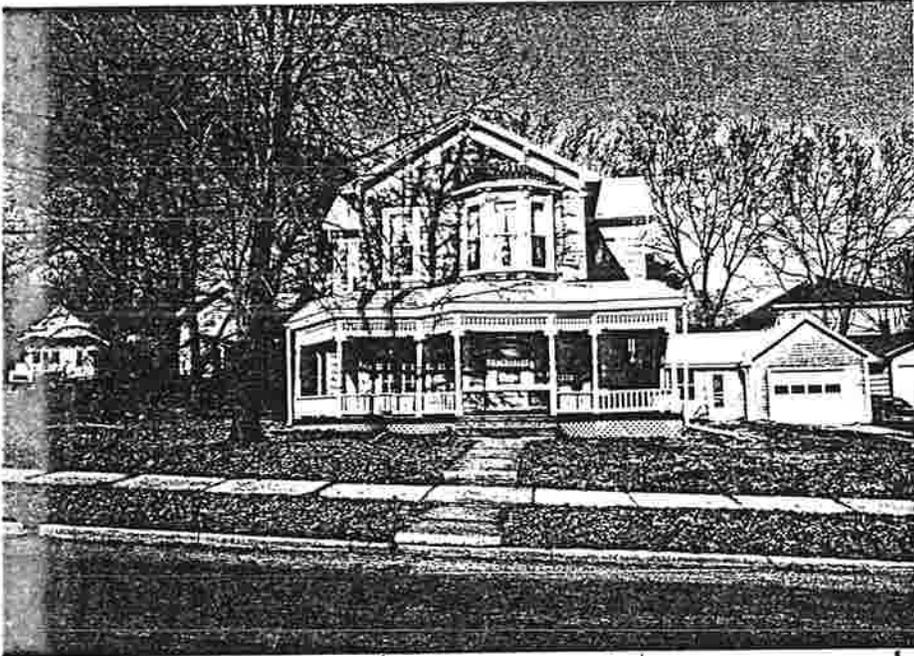
Sketch map of location

Site No. _____

Section 7 Township 51N Range 31W

Indicate the chief topographical features, such as streams and elevations. Also indicate houses and roads. Indicate the site location by enclosing the site area with dotted line. Note scale of map and portion of section included in sketch map. Include drawings, photographs, etc. on additional pages.

N



S

Notes: 42. (cont.) turned porch supports and the spindlework porch frieze. The porch also has cornice-line dentils. Front, two-story projecting bay has decorative iron roof cresting. Bay windows with pilasters; 1/1 double-hung windows; bracketed eaves.

THIS IS PROBABLY THE ONE MOST IMPORTANT PART OF THIS DATA FORM!

Please attach a copy of a topographic map with the site marked on it.



EXHIBIT C



GENERAL NOTES

- It is the responsibility of the builder to construct this plan in compliance with all applicable building codes and requirements of the local, state and federal governing authorities. The following notes are a partial list of requirements/instructions that are to supplement these "general conditions of the contract for construction". Where one is more restrictive, it shall take precedence.
- This work shall be performed by the contractor in accordance with applicable building codes, regulations and specifically noted otherwise.
- The contractor shall be responsible for applicable fees, permits, inspections, testing and/or licenses unless otherwise noted.
- The dimensions are typically made from face of stud to face of stud, unless noted otherwise.
- All the vertical gypsum board/drywall shall be 1/2" thick unless noted otherwise.
- Cladding in areas subject to human impact in hazardous locations shall comply with the requirements of section 2406 of the IRC or section 308 of the ICC as applicable.
- Roof joists/rafters to be insulated with rigid foam unless otherwise noted otherwise per details.
- Insulation shall be installed with a minimum R-49 for flat ceilings and R-38 for cathedral ceilings (flat faced batten "borate only" dense packed cellulose insulation unless noted otherwise). Provide proper ventilation attic above new and existing second floor spaces.
- All exterior walls of this structure shall be continuously sheathed with min. 1/2" OSB sheathing and nailed according to Method 3 of Section R602.10.3 and Table R602.10.1, and shall be in accordance with Table R602.10.5.
- Where rigid insulation is required at the exterior face of foundation walls or footings, provide pre-finished metal flashing/dimpled dimple mat in cont. bed of sealant. Place shield under sill plate and over rigid insulation.
- Final grading the grade shall slope away from the foundation a minimum of 6" within the first 10'. Sidewalks and patios excepted, but must slope away from the foundation at 1/4" per foot.
- Decay Protection: provide decay resistant materials in all areas described in the 2012 IRC.
- All electrical work to be provided by a licensed contractor and be in accordance with the adopted building code of the local jurisdiction.
- Smoke alarms and carbon monoxide detectors should be located according to guidelines listed in the IRC Sections F534 and F535.

ANNOTATIONS AND SYMBOLS

Detail Number: [Symbol]

Detail Reference: [Symbol]

Section Reference: [Symbol]

View: [Symbol]

View Title: [Symbol]

Scale: [Symbol]

SYMBOLS LEGEND

1/8" = 1'-0"

1/4" = 1'-0"

1/2" = 1'-0"

GENERAL PROJECT INFORMATION

Project Name: Garage Addition
Project Address: 232 W Kansas Liberty, MO 64068
Proposed User: Robert M. Johnson
Code Enforcement Jurisdiction: Liberty, Missouri

Applicable Building Codes:
 2012 International Residential Code (IRC)
 2012 International Building Code
 2012 National Electrical Code
 2012 International Energy Conservation Code

LOCATION MAP

ISSUED FOR

Client: Mark Ruff
 232 W Kansas
 Liberty, Missouri 64068
 816.729.4936

Floor 1

1/8" = 1'-0"

Site Plan and Roof Framing

1/8" = 1'-0"

Typical Wall Section

1/2" = 1'-0"

South Elevation

1/8" = 1'-0"

North Elevation

1/8" = 1'-0"

East Elevation

1/8" = 1'-0"

West Elevation

1/8" = 1'-0"

Cover Sheet

A0



My Favorites
(1 item)

View a Door
on My Home

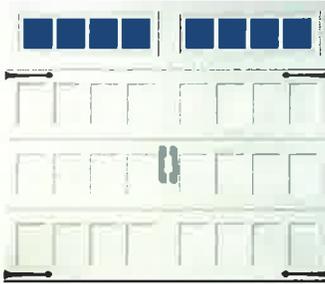
Enter zip code

Residential **Commercial**

[Garage Doors](#) [Openers](#) [Accessories](#) [Before You Buy](#) [Service & Support](#) [Contact Us](#) [Locations](#)

MY FAVORITES

[Share My Favorites](#)



Vintage Plus
Panel: Recessed
Windows: Long Panel Thames
Color: True White
Insulation: Vintage 3000
Handle (not shown): Canterbury 10.5"
Handles and Canterbury 17" Hinge
[Remove](#)

GARAGE DOORS

- Carriage Style Doors
- Traditional & Contemporary
- Style Doors
- Specialty Style Doors
- Steel Doors
- Wood Doors
- All Garage Doors

OPENERS & ACCESSORIES

- Liftmaster Garage Door
- Openers
- All Accessories

BEFORE YOU BUY

- Delden Advantage
- Energy Efficiency
- Garage Door Construction
- Product Brochures
- Wind Load Garage Doors
- CE Approved Garage Doors
- Choosing a Dealer

SERVICE & SUPPORT

- Amarr / Delden Conversion
- Garage Door Repair
- Garage Door Safety
- Common Issues
- Care & Maintenance
- Glossary
- FAQs
- Owner's Manuals
- Warranty Claim

FIND A DEALER

- BECOME A DEALER**
- DOOR DESIGNER**
- MY FAVORITES**
- ABOUT US**
- Press Room
- Contact Us
- Blog



- Sectional Doors - Amarr
- Sectional Doors - Haas
- High Performance Doors - Goff's
- Loading Dock Solutions - Rotary Products

Vintage Plus Collection



Recessed Panel with optional Thames design trim inserts and Alpine handles, in Sandtone.

Vintage Plus Collection

Self-expression shouldn't cost a fortune. With Delden's Vintage Plus Collection, it won't. These durable steel doors offer an attractive carriage house look. Choose from a variety of door colors, decorative hardware, and window accents. Customize your home with Delden's most affordable carriage house door.

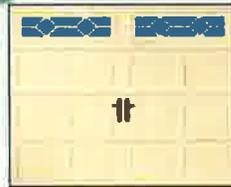
Recessed Panel with optional Thames design trim insert.



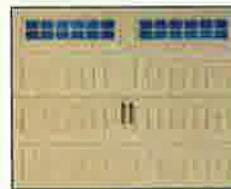
Raised Panel with optional Stockford design trim insert.



Bead Board Panel with optional Waterton design trim insert.



Long Panel Bead Board with optional Stockton design trim insert.



Recessed Panel with optional Arched Thames design trim insert.

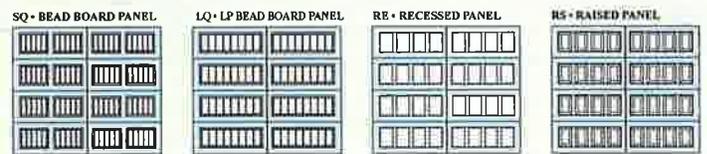


Photos shown with optional decorative hardware



Bead Board Panel with optional Mission estate glass windows and Blue Ridge handles & hinges, in Golden Oak.

PANEL DESIGNS



"Experience the Quality"



Vintage Plus Collection

CONSTRUCTION

Steel Exterior



Series 1000

Single-Layer: Steel

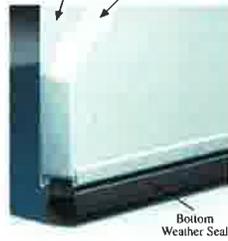
Get value and durability with a Vintage Plus 1000 single-layer steel door. These heavy-duty steel doors are durable, reliable, and low maintenance.

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance



Steel Exterior

Vinyl-Coated Polystyrene Insulation



Series 2000

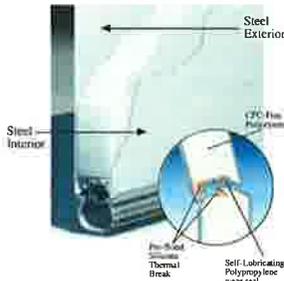
Double-Layer: Steel + Insulation

The Vintage Plus 2000 double-layer door provides durable, low maintenance features, plus a layer of vinyl-coated insulation for increased thermal properties and quieter operation.

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation with Vinyl Backing
- Energy Efficient
- Quiet Operation

Steel Exterior

Steel Interior



Series 3000

Triple-Layer: Steel + Insulation + Steel For the toughest, energy-efficient steel door, the Vintage Plus 3000 triple-layer door includes the ultimate in thermal properties, plus a layer of steel for a finished interior look and added durability.

- Heavy-Duty Exterior and Interior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation
- Superior Energy Efficiency
- Extra Quiet Operation

DELDEN DESIGN TRIM INSERTS

CLEAR



STOCKTON



CATHEDRAL



THAMES



MOONLITE



SUNRISE



GLASS OPTIONS



CLEAR



FROST

STOCKFORD



CASCADE



ARCHED THAMES



WATERTON



SHERWOOD



FULL SUNRISE



ESTATE GLASS™ Tempered obscure glass with baked-on ceramic designs.

VICTORIAN



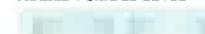
DIAMONDAIRE



HEARTLAND



PRAIRIE V-SHAPED BEVEL†



TRELLIS



TIFFANY*



AMERICANA



MISSION



JARDIN



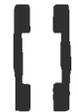
* Clear glass with printed frost pattern
† Obscure glass with v-groove

DECORATIVE HARDWARE

	Vintage Plus Series 1000	Vintage Plus Series 2000	Vintage Plus Series 3000
Panel Designs	4	4	4
Insulation ¹	N/A	Polystyrene	Polystyrene
Thermal Break & Wear Seal			✓
R-Value ²	N/A	6.84	6.48
Steel Thickness	25 ga	25 ga	27/27 ga
Door Thickness	2" (5.1cm)	2" (5.1cm)	1 3/8" (3.4cm)
Bottom Retainer			
Steel	✓	✓	
Extruded Aluminum			✓
Window Glass Options			
Single Strong	✓	✓	✓
Insulated			Clear Only
Wind Load Available ³	✓	✓	✓
Exterior Color Options			
True White	✓	✓	✓
Almond	✓	✓	✓
Sandtone	✓	✓	✓
Wicker Tan	✓	✓	✓
Hunter Green			✓
Gray			✓
Dark Brown	✓	✓	✓
Terratone	✓	✓	✓
Woodgrain	Price upcharge applies.		
Golden Oak	✓	✓	✓
Walnut	✓	✓	✓
Mahogany	✓	✓	✓
Warranty⁴			
Paint Finish	15 Years	25 Years	Lifetime
Hardware	1 Year	2 Years	3 Years

ALUMINUM

10 1/2" HANDLES



17" STRAP HINGES WITH CLAVES



3 3/4" RING HANDLES



CANTERBURY

ALUMINUM

9" HANDLES



18" STRAP HINGES WITH CLAVES



1 1/2" LANGE WITH CLAVES



VERSAILLES

STAMPED STEEL

11" HANDLES



18" STRAP HINGES



BLUE RIDGE

STAMPED STEEL

11" HANDLES



ALPINE

STEEL

4" RING HANDLES



DELDEN

¹ Insulation has passed self-ignition, flamespread and smoke developed index fire testing
² Calculated door section R-value is in accordance with DASMA TDS-163
³ It is your responsibility to make sure your garage door meets local building codes
⁴ For complete warranty details, visit deldenmfg.com or contact your local Delden dealer.

Delden reserves the right to change specifications and designs without notice and without incurring obligations. Some graphics and details provided courtesy of Entrematic and used by permission.

COLORS Delden steel doors arrive pre-painted for custom colors, exterior latex paint must be used. Ask your Delden dealer for instructions on painting.



*Only available in Vintage Plus 3000.



"Experience the Quality"
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KANSAS CITY, MO
www.DeldenMfg.com

Your Local Delden Dealer: